

# TENANT CRITERIA MANUAL

## SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING



MACERICH® THE PLACE TO SHOP

# SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

## ADDENDUM LOG

---

02-28-2017	Progress set for client review
06-30-2017	Progress Design Development set for client review
08-30-2017	Progress Design Development set for client review
11-02-2017	Progress Design Development set for client review
11-22-2017	Progress Design Development set for client review
11-28-2017	Progress Design Development set for client review
12-13-2017	Progress Design Development set for client review
12-14-2017	Progress Design Development set for client review
1-2018	Updated current layout
9-2018	Recreated

# SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

PLEASE VISIT  
[WWW.MACERICH.COM](http://WWW.MACERICH.COM)

TO VIEW  
PLAN SUBMITTAL & APPROVAL  
PROCEDURES  
and CONTRACTOR RULES &  
REGULATIONS

## TABLE OF CONTENTS

<b>1.0 GENERAL INFORMATION:</b>	
General information	4
Overall Site Plan	5
<b>2.0 STORE DESIGN:</b>	
Storefront Types Floor Plan	6
Storefront Examples	7-8
Floor Plan	9
Roof Plan	10
Type F - West Building Elevation	11
Type F - North Building Elevation	12
Type F - East Building Elevation	13
General Design Criteria, General Exterior, Railings, Canopies	14
Storefront & Canopy Inspiration	15
Exterior Lighting, Exterior Umbrellas, Outdoor Furnishings & Planters,	
Exterior Heating & Cooling Elements	16
Railings, Furniture & Planter Inspiration	17
Exterior Mechanical Screening	18
Storefront Signage Examples, Sign Area Calculations	19
Signage Elevation Drawings	20-22
<b>ADDITIONAL INFORMATION:</b>	
Additional Information	23
Required Contractor List	24





# GENERAL INFORMATION

## SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING



### THE LUXURY WING

- Highly visible, dramatic new arrival point
- Dedicated luxury valet and private lounge
- Soaring storefronts offer an expressive canvas for luxury flagships and bold retailer design
- Fine finishes anchored by natural stone with high quality metal accents
- Dedicated roving concierge
- Exclusive experiences including: world-class partners and top-drawing attractions from Scottsdale Fashion Week and Scottsdale Culinary Festival
- Gardens and lush environments inspired by world-renowned gardens
- Bespoke art installations interwoven across the property, capitalizing on the region's robust art scene
- Fine furnishings and finishes throughout
- Rich technology to engage our best customers and enhance the shopper experience

### DISCLAIMER

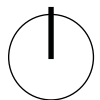
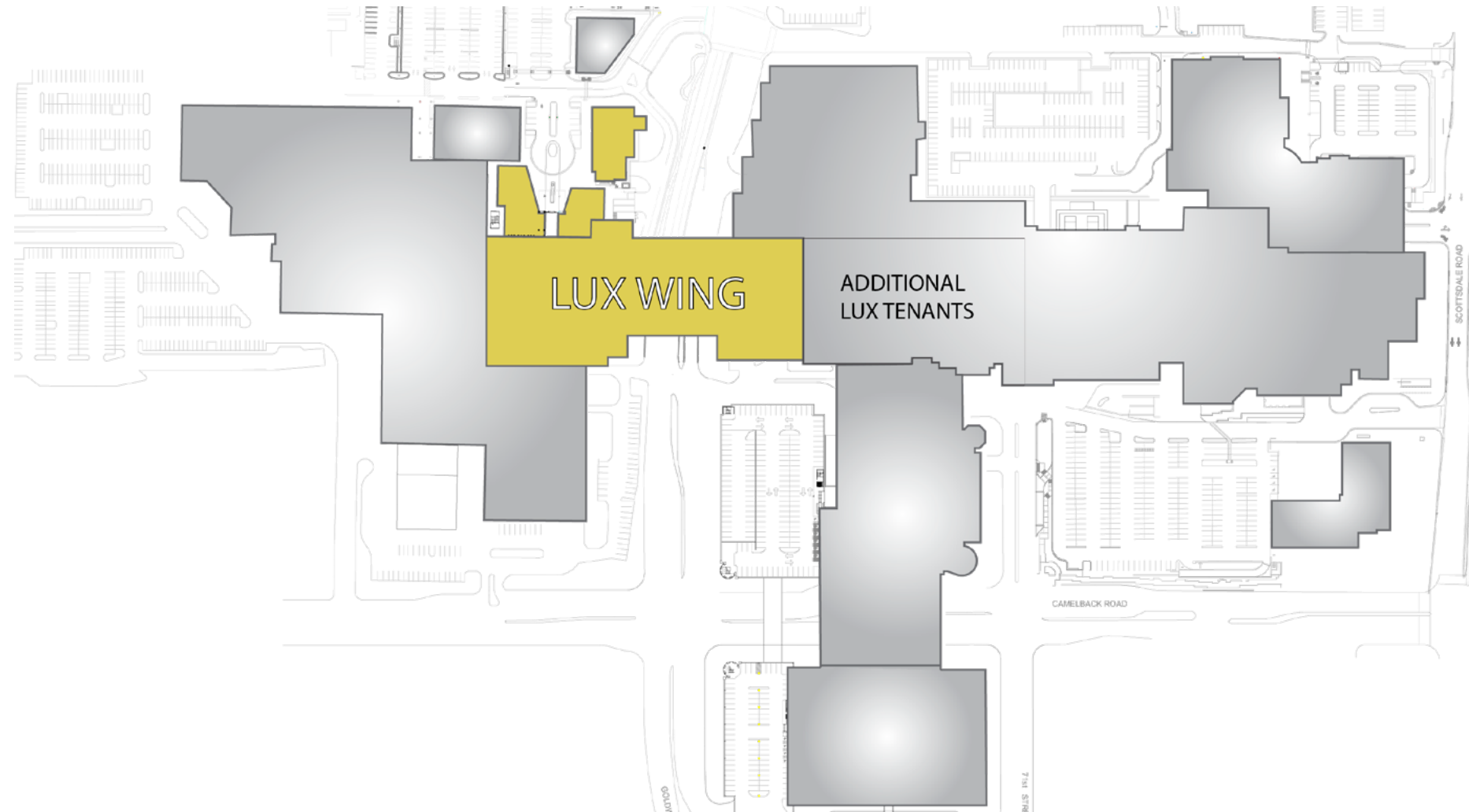
This criteria is intended to assist you, the Tenant, during the design and construction phases of your leased space. It is provided by the Landlord in the interest of maintaining a high level of design excellence throughout the Luxury Wing. This criteria is intended to harmonize with the leasing documents, it is the responsibility of the Tenant to forward a copy of these criteria to their architect, contractor and various consultants.

Landlord reserves the rights to, from time to time, make additions, deletions, revisions, etc., as may be required to the contents, specification and attachments referenced or contained herein. No deviation from the enclosed criteria will be accepted without prior written approval from The Macerich Company.



# OVERALL SITE PLAN

## SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING



OVERALL SITE PLAN

SCALE: NTS

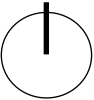
# STOREFRONT TYPE FLOOR PLAN DESIGN

## SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING



### STOREFRONT CONDITIONS

- TYPE A** FUTURE EXTERIOR TWO LEVEL EXPRESSION P. 11
- TYPE B** EXTERIOR TWO LEVEL EXPRESSION P. 12
- TYPE B** INTERIOR TWO LEVEL EXPRESSION P. 13
- TYPE C** INTERIOR ONE LEVEL EXPRESSION PROUD OF BULKHEAD P. 14, 15
- TYPE D** INTERIOR ONE LEVEL EXPRESSION UNDER BRIDGE P. 16
- TYPE D 2** INTERIOR ONE LEVEL EXPRESSION UNDER BRIDGE BUMP OUT OPTION P. 17
- TYPE E** INTERIOR ONE LEVEL EXPRESSION UNDER BULKHEAD P. 18, 19
- TYPICAL INTERIOR ONE LEVEL STOREFRONT PROUD OF BULKHEAD W/COLUMN P. 20
- TYPE F** PAD C P.21



STOREFRONT TYPE FLOOR PLAN

SCALE: NTS



# STORE DESIGN

CONCEPTUAL RENDERING

## SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING





# STORE DESIGN

CONCEPTUAL RENDERING

## SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING



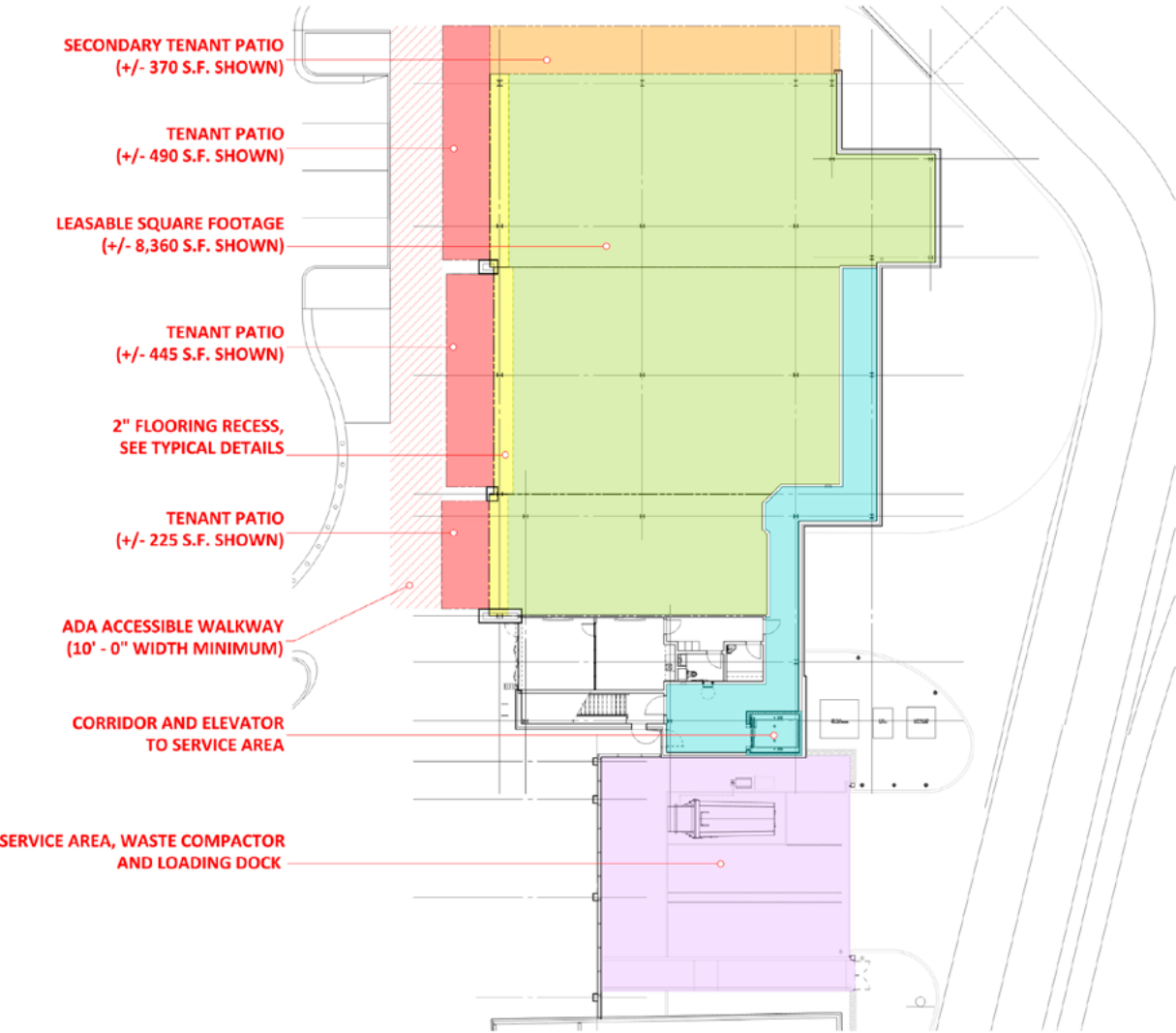


SCOTTSDALE FASHION SQUARE  
PAD C OUTPARCEL BUILDING



STORE DESIGN

FLOOR PLAN



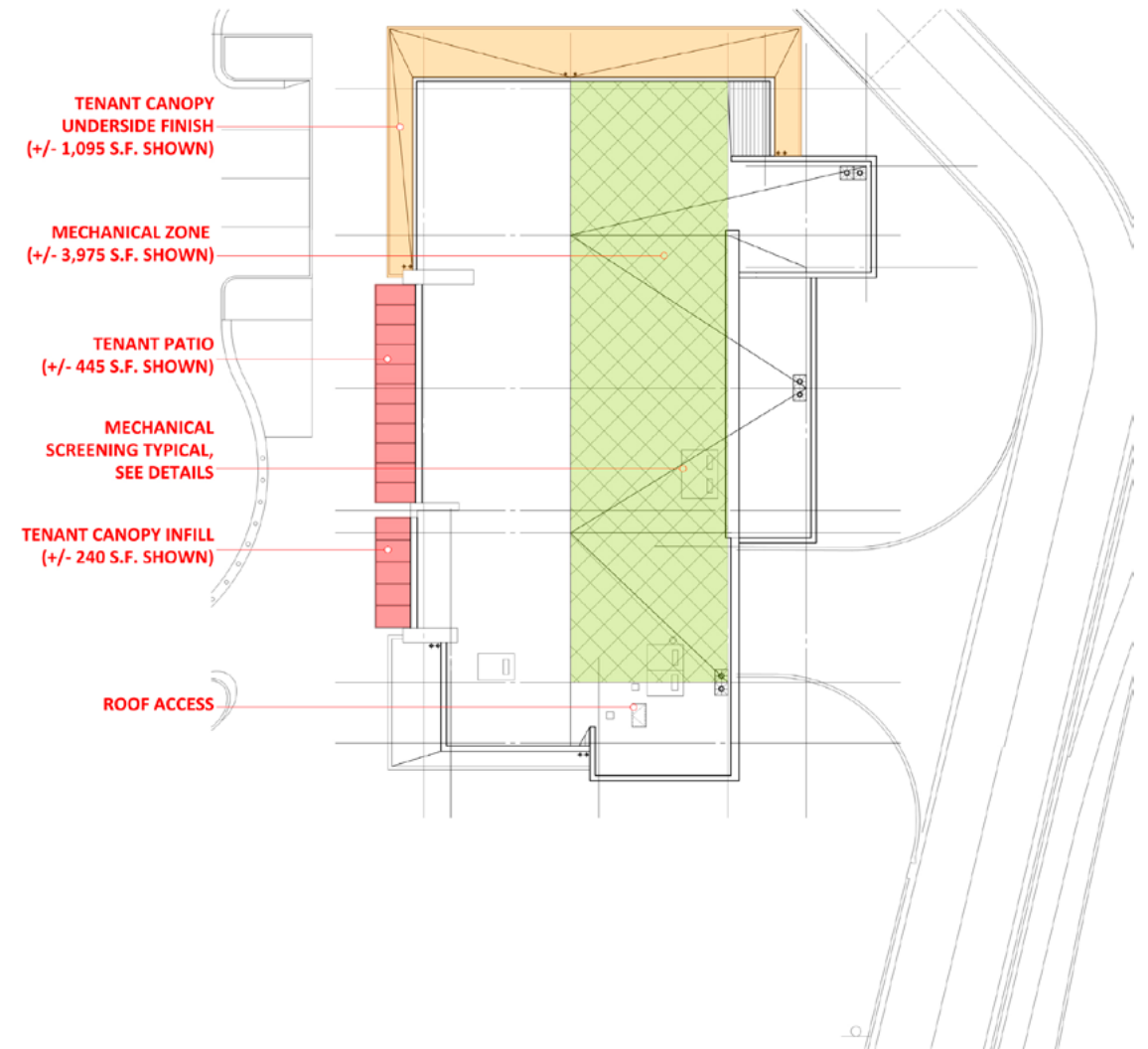


# SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING



## STORE DESIGN

### ROOF PLAN

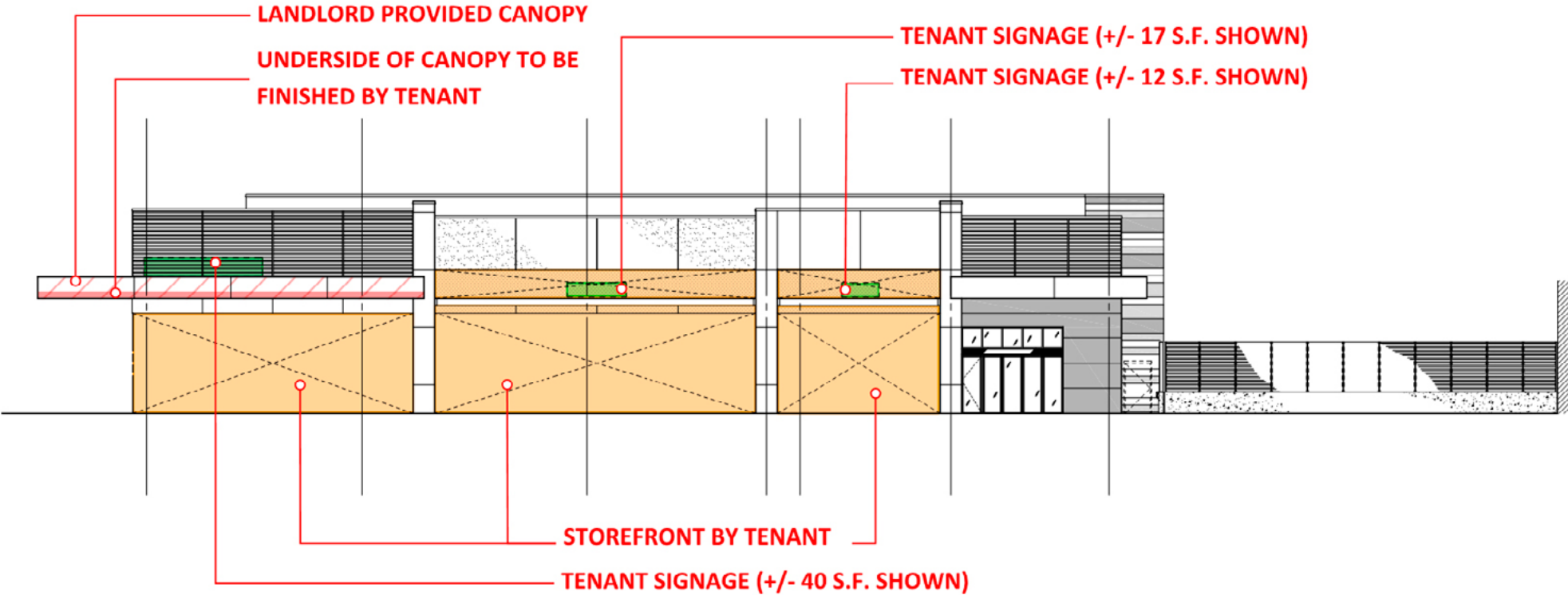




SCOTTSDALE FASHION SQUARE  
PAD C OUTPARCEL BUILDING

STORE DESIGN

TYPE F - WEST BUILDING ELEVATION

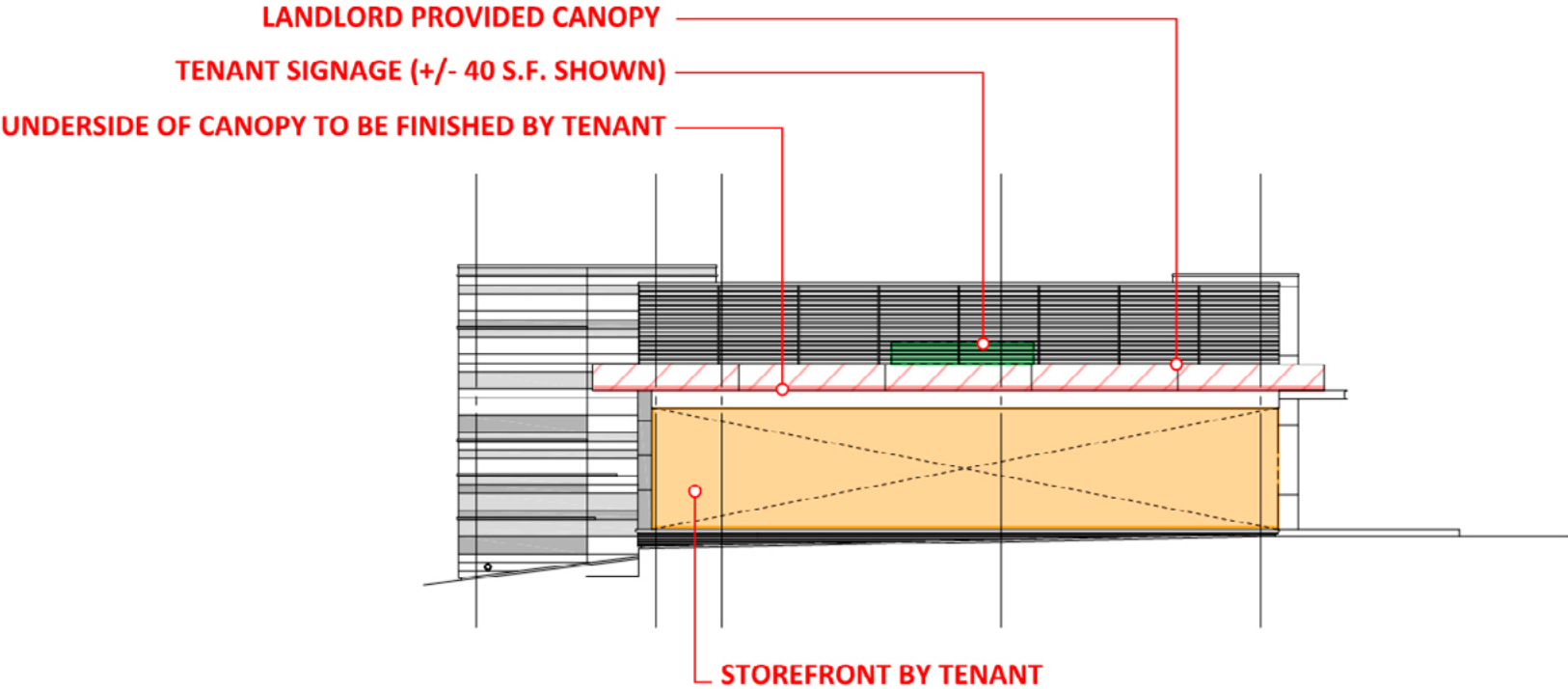


WEST ELEVATION  
SCALE: NTS

SCOTTSDALE FASHION SQUARE  
PAD C OUTPARCEL BUILDING

STORE DESIGN

TYPE F - NORTH BUILDING ELEVATION



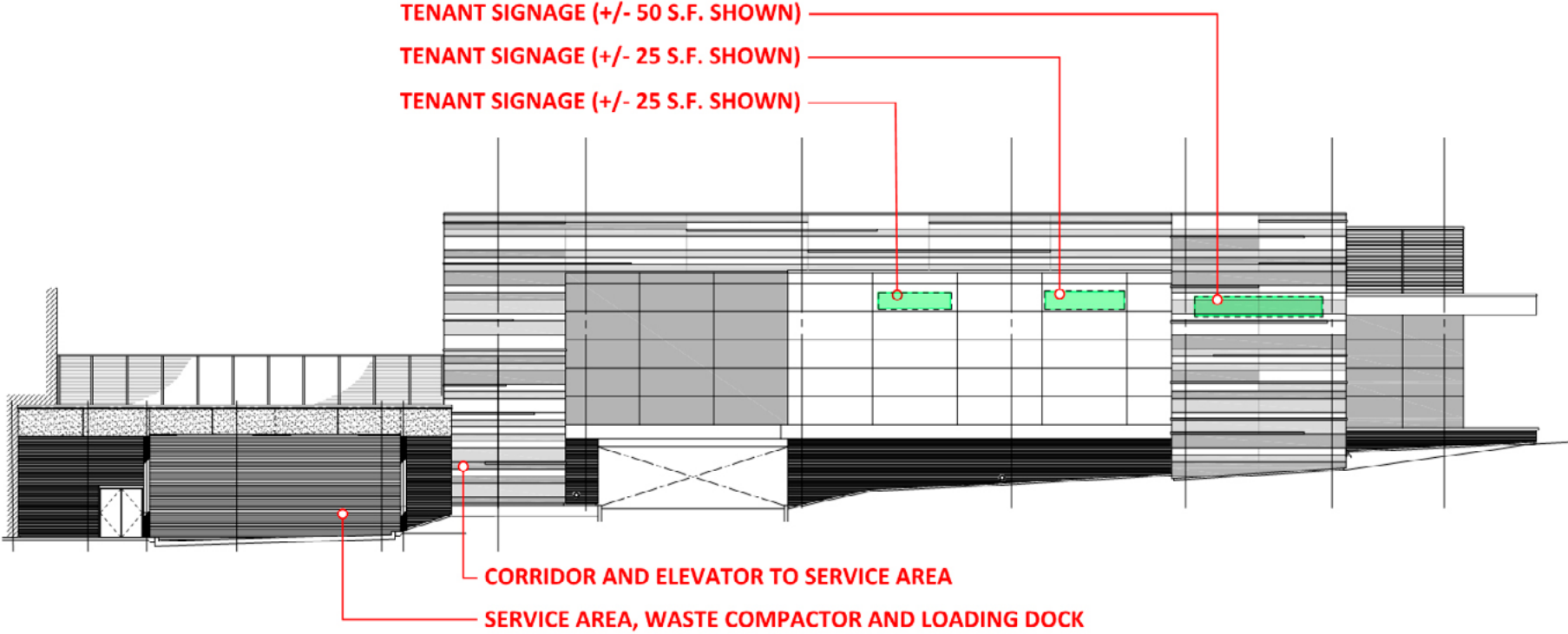
 NORTH ELEVATION  
SCALE: NTS



SCOTTSDALE FASHION SQUARE  
PAD C OUTPARCEL BUILDING

STORE DESIGN

TYPE F - EAST BUILDING ELEVATION



 EAST ELEVATION  
SCALE: NTS

# SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

## STORE DESIGN

### GENERAL DESIGN CRITERIA

#### GENERAL EXTERIOR DESIGN CRITERIA:

1. The Tenant's entire storefront opening within the Landlord's building facade shall be designed, fabricated, constructed, installed and maintained by the Tenant at the Tenant's expense.
2. The storefront design shall work in concert with, and be respectful of, the Landlord's building facade, thematic architectural expression, and landscaping.
3. Landlord piers or columns in the Tenant's storefront that are clad or otherwise designed as part of the Landlord building architecture shall be preserved without alteration by the Tenant.
4. Unclad piers or columns in the Tenant's storefront shall be incorporated into the Tenant's storefront design.
5. The Tenant's storefront windows and other large glazed areas shall meet state and city design requirements.
6. Doors within the storefront assembly may be articulated in a way to include further customized elements to enhance the overall design and building identity.
7. No alterations, additions, changes, or modifications to the Base Building finishes or construction shall be permitted without obtaining Landlord's prior written approval (such approval must be requested by Tenant under separate cover from Tenant's drawings).
8. All Tenant construction, including storefronts, must be of non-combustible materials; and suitable to outdoor weather, use, and wear.
9. All Tenant storefronts and floors shall be watertight and must properly slope to drain and to meet flush with Landlord's finishes and/or pavements at the storefront.
10. Full height opaque areas of the storefront shall be minimal.

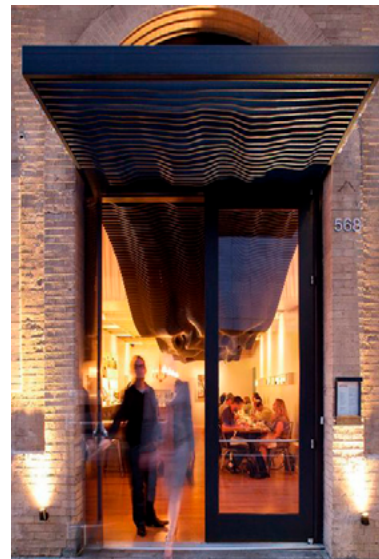
#### GENERAL EXTERIOR RAILINGS, CANOPIES:

1. Canopy structure is provided by landlord and varies in location and design.
2. The underside of landlord provided north canopy must be finished by tenant.
3. For center canopy structures, infill must be a minimum of 75% solid material if not completely infilled. Infill materials must be metal, louvers, wood, etc. Fabrics are prohibited.
4. Proper drainage must be supplied and installed to base building systems in solid infill is proposed at center canopies.
5. All exterior decks or patios must have at least one accessible egress path.
6. All required exit doors must swing in the code required direction of egress travel. This might vary depending on spaces being served and exiting requirements; Tenant is to verify requirements at all exterior spaces.
7. Railings and/or patio decks must not compromise unobstructed means of egress from leased space's public entry. Travel can't be inhibited by security fences, gates, trip hazards, or excessively uneven or sloping surfaces.
8. Patio enclosures are to be self-supporting, not attached to Landlord facade, and integrated with the tenant's exterior expression. Planters, dividers, and other types of separation elements may be used in lieu of railings with landlord approval.
9. Enclosures and railings are to meet all applicable requirements of the local jurisdiction and supports must be surface mounted to the Landlord's site within zone identified on the lease.
10. Enclosure structures incorporating planters must contain live plants, provide sufficient drainage tied to building plumbing infrastructure, and be maintained at all times.

# SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

## STORE DESIGN

Two Level Exterior Expression



# SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

## STORE DESIGN

### GENERAL DESIGN CRITERIA

#### EXTERIOR LIGHTING:

1. Lightng sources must be integrated into Tenant storefront and patio area in a manner complementary to the overall design and graphic brand concept.
2. Illuminaton should be designed to prevent any glare to surrounding public areas.
3. Tenant may not install any lightng in Landlord’s common area, this includes fixtures protruding past the lease line.

#### EXTERIOR UMBRELLAS:

1. Umbrellas are only allowed in the tenant’s exterior leased premises and cannot overhang into the public right-of-way.
2. Umbrellas should be small in scale (maximum six feet in diameter) and no more than nine feet high (9’-0”) at the peak.
3. Wood or wrought iron are the only acceptable materials for the umbrella structure.
4. No insignia, graphics or text is permitted on the umbrella fabric.
5. The umbrella fabric must be flame retardant material in a color approved by Landlord’s Tenant Coordinator.

#### OUTDOOR FURNISHINGS & PLANTERS:

1. Tenants are encouraged to select outdoor furnishings that enhance the guest experience of their facility and compliment the overall look of the center.
2. Pieces must be commercially rated, comply with all local jurisdictional requirements, and are subject to Landlord’s approval.
3. All pieces must be located within the tenant’s patio area.
4. Planters should not block the pedestrian path or make any Landlord or tenant areas inaccessible for cleaning and maintenance.
5. Planters that have live plants in them should have proper drainage.

#### EXTERIOR HEATING & COOLING ELEMENTS:

1. Tenants may install natural gas or electric heaters and/or ceiling fans that are rated for outdoor use, permanently installed, and are designed to be fully integrated into the character of the tenant’s exterior presentation.
2. No items may be supported from Landlord’s walls, all conduit and piping must be concealed from public view, and mobile propane heating units are not allowed.
3. Exterior fire features may be proposed and are subject to the requirements of this section and Landlord’s approval.



# STORE DESIGN

One Level Expression

## SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING





# SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

## STORE DESIGN MECHANICAL SCREENING SAMPLES

### EXTERIOR MECHANICAL SCREENING:

1. Screening materials and methods are not meant to be all-inclusive. There may be other tenant proposed options to utilize screening devices not included in this manual. Screening methods are subject to Land Lord approval.
2. Alternate screening devices and methods may be acceptable provided they effectively reduce the visual impact of the utility equipment in maintain required clearances. All screening shall be commercial grade, with durable finish.
3. Screening shall not interfere with or adversely affect the operation of the equipment or its access. Materials/design cannot obstruct the cooling of equipment, or restrict opening of access doors or pull boxes.
4. Screening shall be properly supported and compatible with existing roofing systems; and will require Land Lord approval to ensure safety, access, and aesthetic considerations of the roofing systems are addressed.
5. All screening systems must comply with local code regulations; stamped structural drawings/ corresponding calculations and/or inspection may be required for large system designs and their attachments methods.
6. Screening systems shall be five (5) sided, panels at all sides and top panel; unless otherwise approved by Land Lord.
7. Screening materials and colors shall be appropriate and correspond to the surrounding climate and architectural features, and are subject to Land Lord approval.



# STOREFRONT SIGN DESIGN

## SIGNAGE EXAMPLES

### SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING



#### SIGN AREA CALCULATIONS

Sign area calculations shall be made by circumscribing a "box" around the main body of the sign.

*All signage shall conform to the following requirements:*

1. Area of the sign shall be calculated by:
  - Store footprint or "Lease line" width multiplied by 2/3 equals the maximum sign area in square feet.
2. Width of the sign shall be calculated by
  - Dividing the overall sign area, by the maximum letter height.

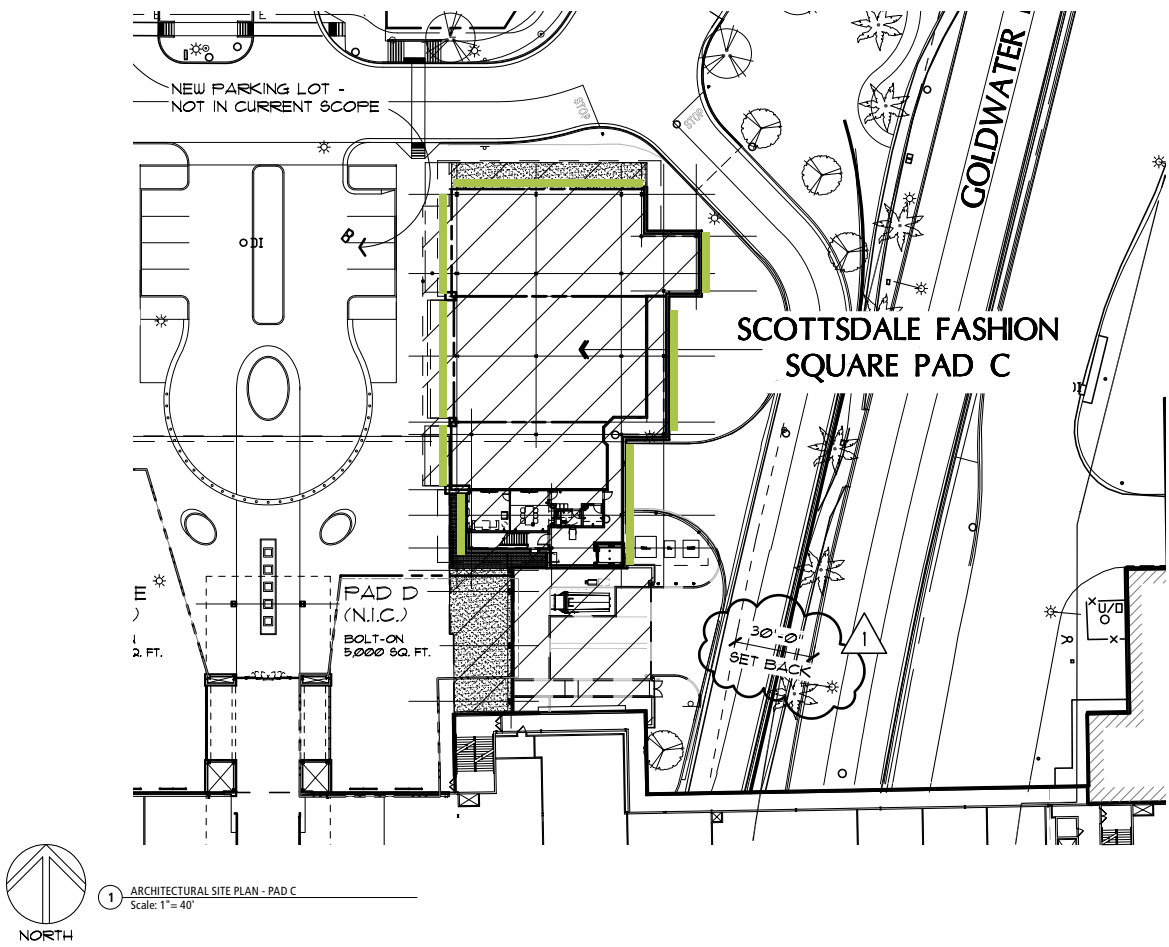
Sample Sign Area Calculation:

1. Lease line width at 25'-0", times 0.667 = 16.68 square feet of sign area.
2. If the maximum letter height of 1'-6" is desired, it will be divided into the maximum area which yields a maximum width of 11'-1.5" by 1'-6" in height.  
 $25 \times 0.667 = 16.68$  (area of sign in SF)  
 $16.68 \text{ divided by } 1.5 = 11'-1.5"$

# STOREFRONT SIGN DESIGN

## ELEVATION DETAILS

### SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

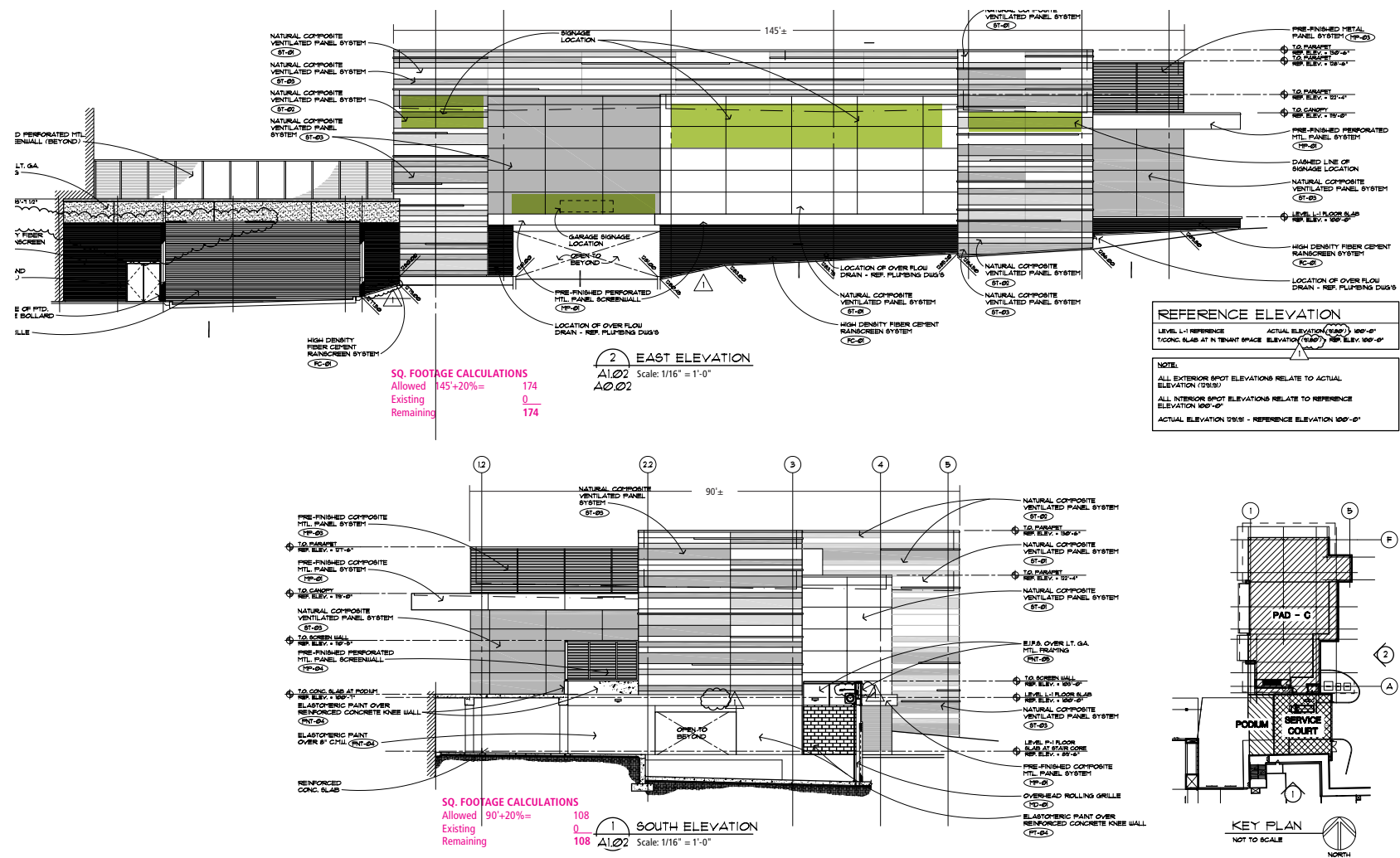




SCOTTSDALE FASHION SQUARE  
PAD C OUTPARCEL BUILDING

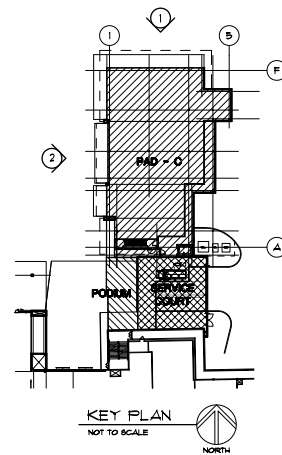
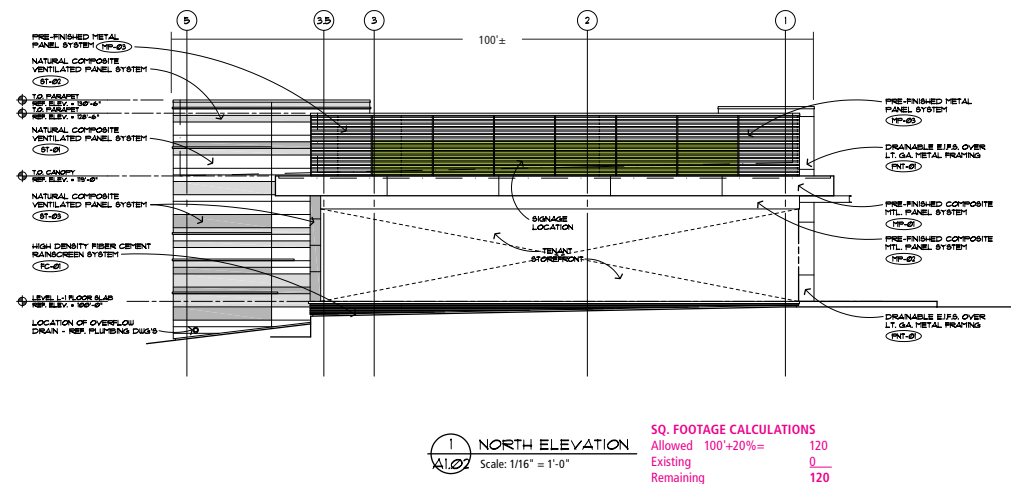
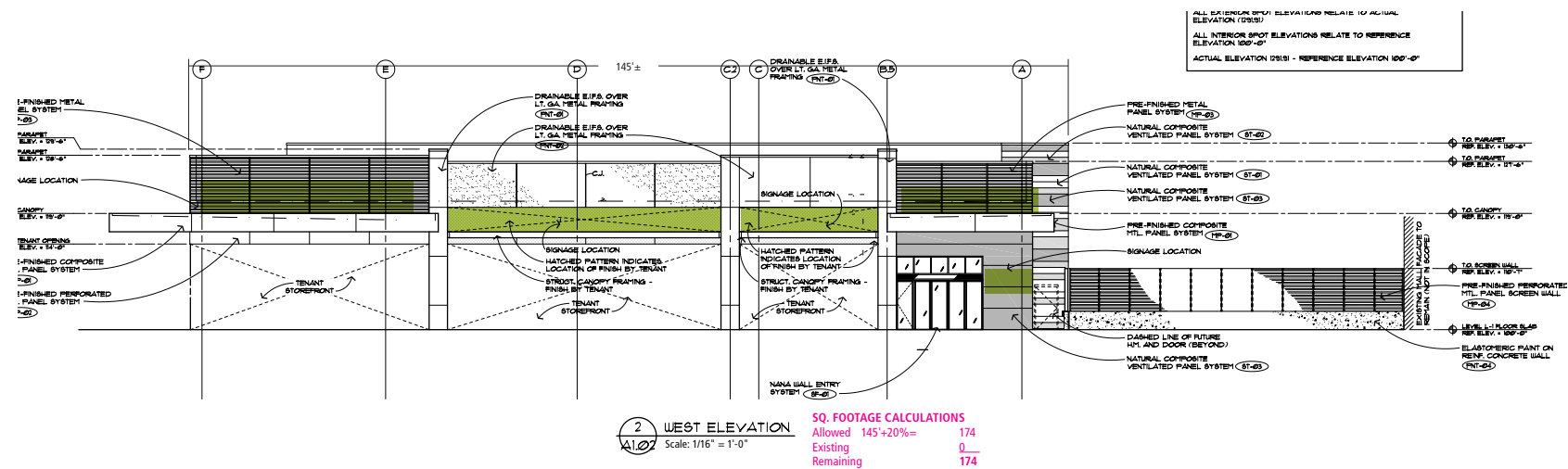
STOREFRONT SIGN DESIGN

ELEVATION DETAILS



SCOTTSDALE FASHION SQUARE  
PAD C OUTPARCEL BUILDING

STOREFRONT SIGN DESIGN  
ELEVATION DETAILS



## ADDITIONAL INFORMATION

### SCOTTSDALE FASHION SQUARE PAD C OUTPARCEL BUILDING

SECTION GENERAL INFORMATION CRITERIA - Overall Scottsdale Fashion Square Mall information, Mall contact directory, List of mall Contractors, Building code information.

TENANT SUBMISSION AND APPROVALS DOCUMENT - Submission and approvals procedures.

MECHANICAL, ELECTRICAL, PLUMBING, AND HVAC - Per Phase10 Barney's Expansion Book or MAC overall MEP criteria.

SECTION SIGNAGE CRITERIA - Additional Signage examples, Sign Construction and Installation, Plan Submittal Guidelines.

DIGITAL SIGNAGE BOOK - Additional Digital Signage examples.

SUSTAINABILITY TENANT HANDBOOK - MAC Sustainability.



SCOTTSDALE FASHION SQUARE  
PAD C OUTPARCEL BUILDING

ADDITIONAL INFORMATION

REQUIRED CONTRACTORS

FIRE SPRINKLERS

Summit Companies  
Dan Burke  
Service Manager  
(480) 966-9178 Office  
(480) 603-3910 Direct  
(480) 695-1401 Cell  
DaBurke@SummitCoUS.com

Climatec Building Technologies Group  
Ed Bergsbaken  
Principle Account Manager  
(602) 944-3330 Office  
(480) 510-0327 Cell  
edbergsbaken@climatec.com

ROOFING

Progressive Roofing  
Mark Farrell  
(602) 278-4900 Phone

FIRE ALARM

Johnson Controls  
Frank Waddell  
Electronic Service Sales Rep (EServ)  
frank.waddell@jci.com

**Electrical (Final Tie in to Mall Panels):**

ELECTRICAL ROOM

Rehco Electric  
Rick or Sean  
(480) 922-6257 Phone

STRUCTURAL ENGINEER

A.V. Schwan & Assoc., Inc.  
6000 E Thomas Rd. Ste. 1  
Scottsdale, AZ 85251  
Stephen Schwan  
(602) 265-4331 Phone  
(480) 662-1788 Fax

***All coring locations (we do not allow trenching) must be reviewed and approved by the mall structural engineer AV Schwann (at tenant's expense).***