

SANTA MONICA PLACE

395 Santa Monica Place, Santa Monica, CA 90401



Garage 7 Exterior
concept view

TENANT DESIGN CRITERIA

General Requirements

The “Garage 7 Retail” criteria manual is a subsection of the existing ‘Tenant Design Criteria’. The details and requirements described herein are supplemental to those criteria and are specifically, although not exclusively, for Garage 7 Retail Tenants.

All designs and plans are subject to Landlord approval. Tenant to submit complete plans per Tenant Document Submission & Approval Procedure document. All submittals must include a merchandising plan.

Tenants are encouraged to produce high quality, well detailed and executed interior solutions that are unique, imaginative and stylized. Storefront presentation should convey a store’s merchandise identity and generate activity.

- Due to the ‘openness’ of this design, a well thought out fixture and merchandising plan along with a rendering will be required.
- All interior finishes such as paint, flooring, wall coverings, etc are the Tenant’s responsibility and should be clearly identified on the drawings and materials / sample board submitted to the Landlord for approval.
- All fixtures and equipment necessary to operate the business is the Tenant’s responsibility.
- Coordinate all Tenant work with Landlord’s Tenant Coordinator.
- Particular attention will be given to all aspects of the Tenant’s design due to the high visibility of the lease space from all sides. Tenants will be challenged to create unique design concepts in their finishes, lighting, signage and merchandising displays.

Materials

LANDLORD APPROVED MATERIALS in areas visible to the public:

Counter Tops

- Ceramic Tile
- “Corian” or similar
- Metal - stainless or painted steel, brass, copper, aluminum
- Natural Stones - marble, granite, slate
- Glass

Counter Fronts

- Ceramic Tile
- Glass block
- Fiberglass-reinforced concrete fabrications
- Casework-quality hardwood
- Metal - stainless or painted steel, brass, copper, aluminum
- Natural stones - marble, granite, slate
- Glass

Interiors

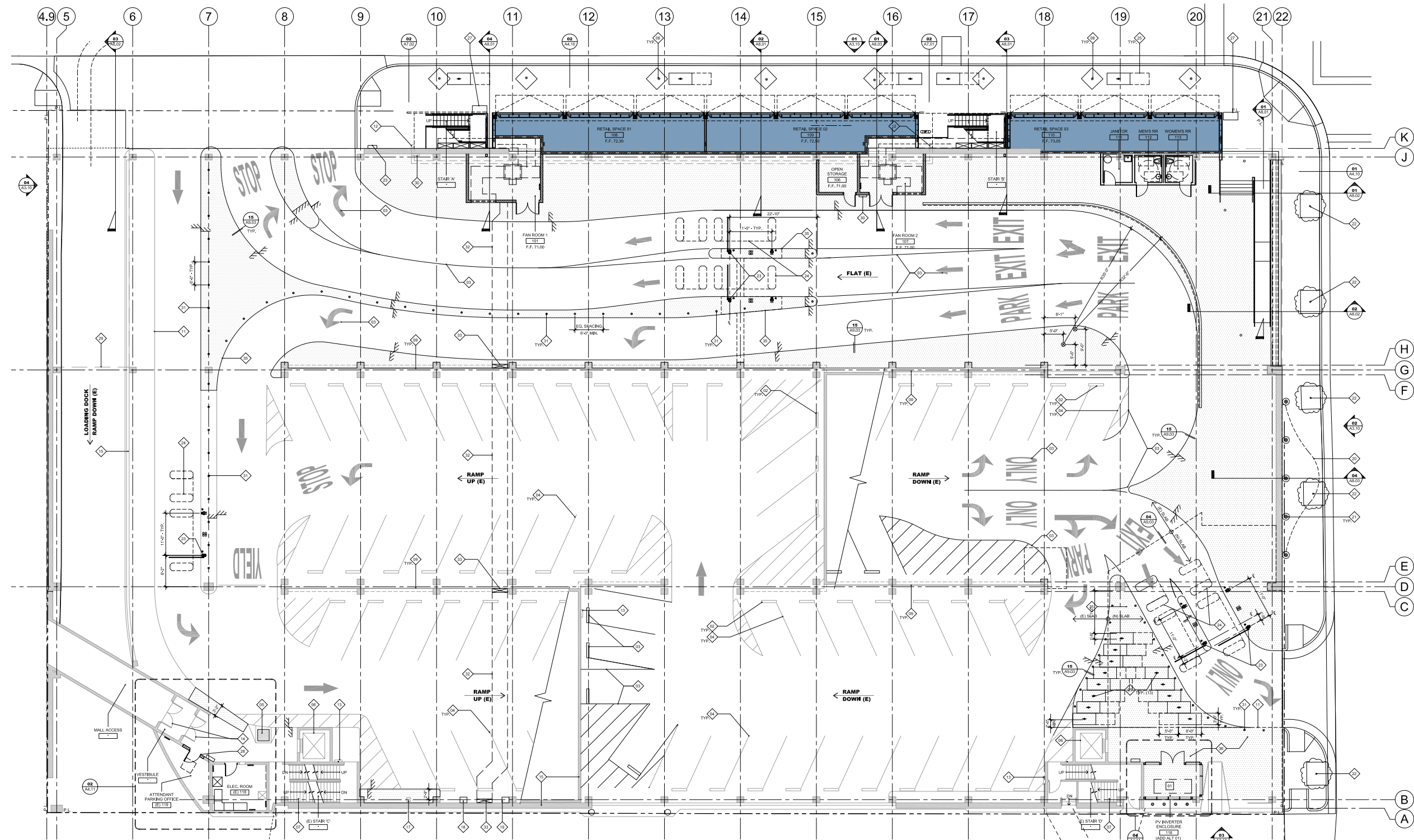
- Solid color plastic laminate
- Casework-quality hardwood
- Metal- stainless steel, brass, copper, aluminum
- Fabrics

PROHIBITED MATERIALS in areas visible to the public:

- Plastic laminates
- Slatwall display systems
- Pegboard
- Mirror
- Shingles, wood siding, cork, carpet
- Simulated brick and wood
- Vinyl and paper wallcovering
- Sheet or modular vinyl
- Other materials deemed unacceptable by the Landlord

SANTA MONICA PLACE

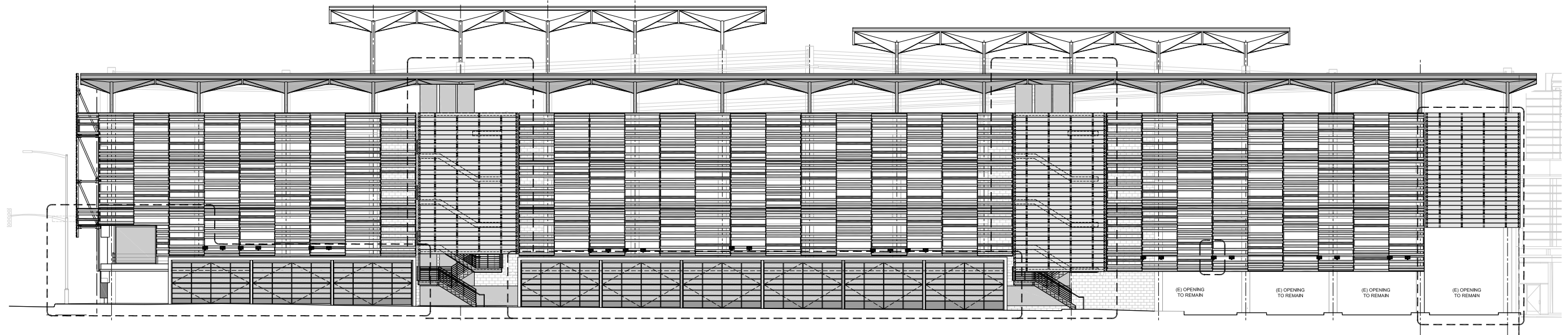
395 Santa Monica Place, Santa Monica, CA 90401



PLAN VIEW

SANTA MONICA PLACE

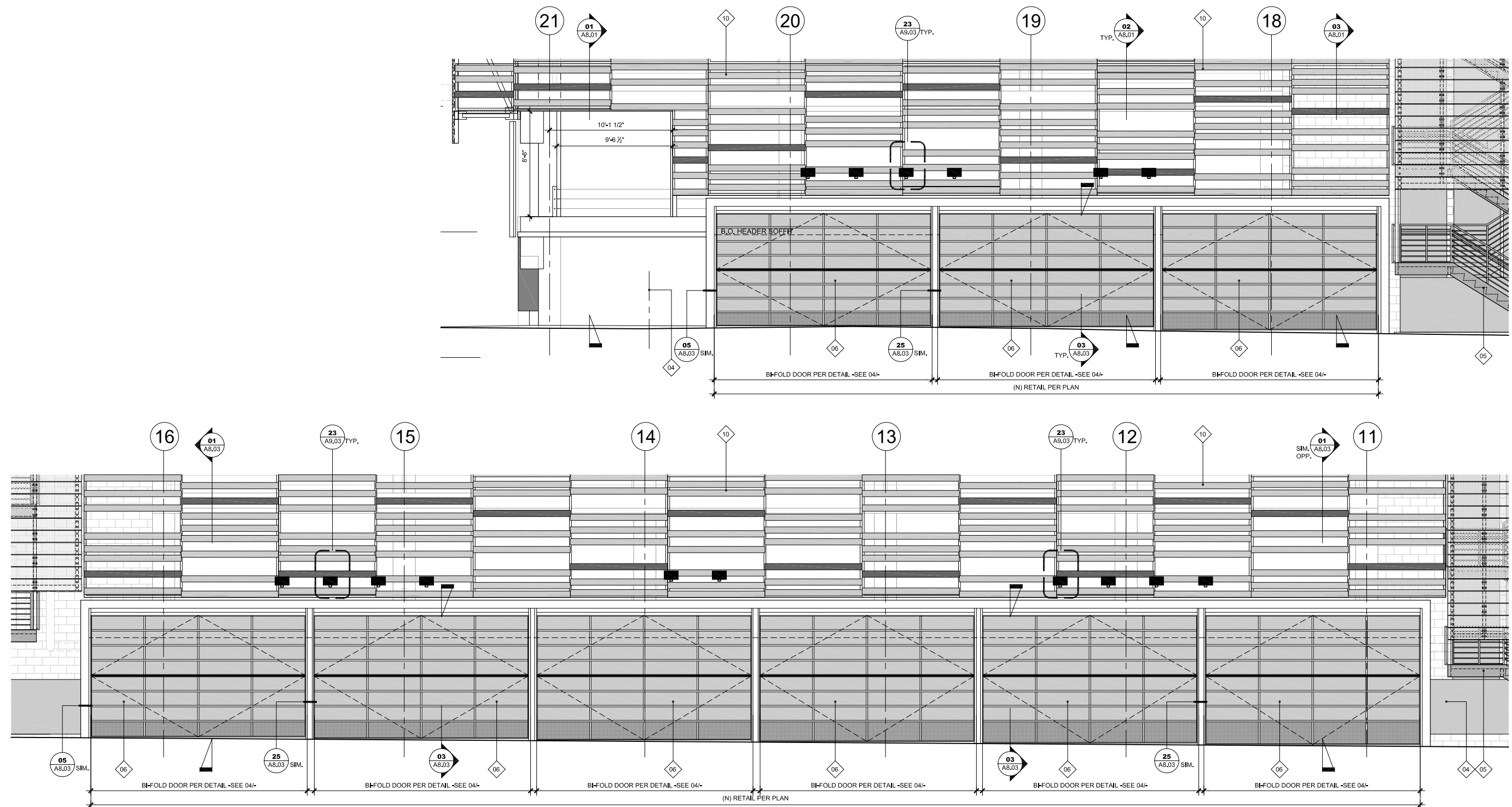
395 Santa Monica Place, Santa Monica, CA 90401



NORTH ELEVATION

SANTA MONICA PLACE

395 Santa Monica Place, Santa Monica, CA 90401



ENLARGED ELEVATION

395 Santa Monica Place, Santa Monica, CA 90401



SECTIONS

RFI #G7-298
SK-1
WORKSHEET
10.12.10

EXPLANATION OF "STAY CLEAR AREA"

1-WARNING: All personnel, objects, & equipment must stay clear of the gray areas while the door is operating. Failure to do so could result in property damage, personal injury, or death to the operator of the bi-fold door or other people in the immediate area. Gray is the "Stay Clear Area"

2-WARNING: All personnel, objects, and equipment must stay at least 3 feet away from the inside of door opening, 3 feet away from the sides of the door travel area, and 3 feet beyond the door travel area.

"STAY CLEAR AREA" the area shown below in gray color
Before operation, check both sides of the bi-fold door for obstructions in the door's path of travel. All controls should be located so that the person operating them can see the full area of door movement, but not so close that he/she could be injured due to his/her proximity to the door.

COMPANY: Schmidt Construction	STYLE: SCHWEISS
NAME: Bill	WIDTH: 17' ft. 3.50" in.
ORDER NUMBER: 17418-3	CLEAR OPENING / RATED HEIGHT: 7' ft. 7.88" in.
ELECTRICAL: 208-1PH	WEDGE: 30.00" in.

"STAY CLEAR AREA" FOR YOUR BI-FOLD DOOR

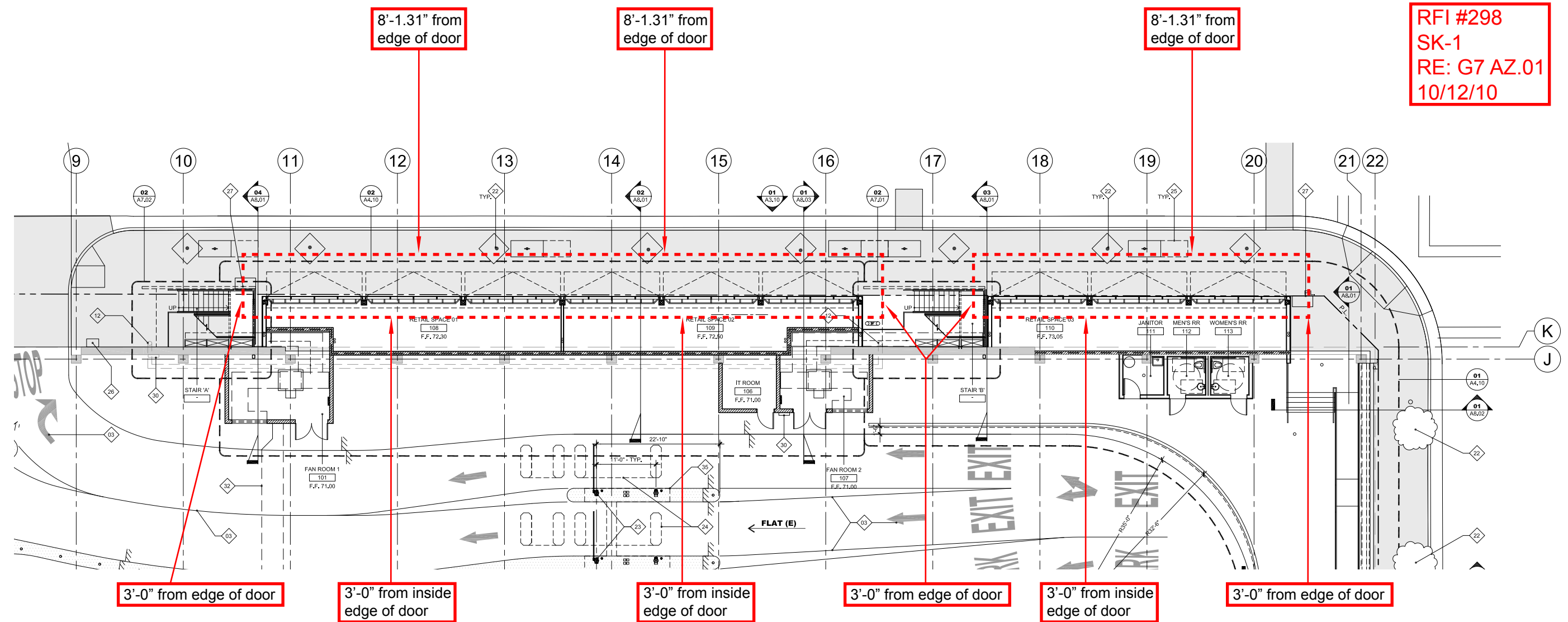
Gray Area must be free of obstructions, Equipment, and People.

- Gray Area for each sized door will vary:
 - Inside - - - A minimum of three feet inside of building.
 - Outside - - - A minimum of three feet (3') beyond the distance equal to the door height.
 - Both Sides - A minimum of 3 feet along each side of the door travel area.

Important: Paint cautionary markings to identify the perimeter of the gray area, or the entire gray area.
(Customer's Responsibility)

SANTA MONICA PLACE

395 Santa Monica Place, Santa Monica, CA 90401



General

The following outlines the work to be provided by the Tenant. Tenant signage shall be designed, fabricated and installed by the Tenant at his or her own expense.

All Tenants within the SMP Garage 7 Retail area are required to comply with this Signage and Graphics Criteria. Tenants with signs facing Santa Monica city streets are also responsible for adhering to the City of Santa Monica signage codes and such signs are subject to review by the City of Santa Monica.

Creativity, uniqueness and high quality are characteristics of the overall identity of SMP. Tenants are encouraged to utilize dramatic illumination, individual dimensional letters and high-end finishes. Creative adaptations of Tenant's current sign practices to these specific criteria may be necessary.

Sign Types and Limits

PRIMARY SIGN:

One primary sign is allowed per storefront. This sign may not exceed 1 square foot per one linear foot of storefront.

Refer to pages g9-g12 for all sign requirements.

Tenants are encouraged to bring a sculptural and dimensional quality to their signs. Letters and graphics using depth will be looked upon more favorably than "flatter," less dimensional graphics. Tenants are to coordinate with Tenant Coordinator regarding signage placement.

Permitted Primary Sign Types

The following construction methods are permitted. Other conditions are subject to approval:

- Reverse channel dimensional halo-lit letterforms.
- Open pan channel letterforms with recessed exposed neon.
- Internally illuminated metal face with push-through acrylic graphics.
- Dimensional graphics or letterforms pinned off back-wall or attached to a powered signage shelf.

Prohibited Sign Types

THE FOLLOWING SIGN CONSTRUCTION IS NOT PERMITTED THROUGH-OUT SANTA MONICA PLACE:

- Box or cabinet construction will be considered on a case-by-case basis.
- Vacuum formed luminous letters.
- Box channel letterforms with acrylic face.
- Exposed neon.
- Paper, cardboard, styrofoam, cloth, stickers, decals, or hand-lettered signs.
- Signs employing flashing, flickering, rotating or moving lights.
- Signs painted directly on storefront sign band.
- Credit card and advertising placards, trademarks or manufacturer labels.

SANTA MONICA PLACE

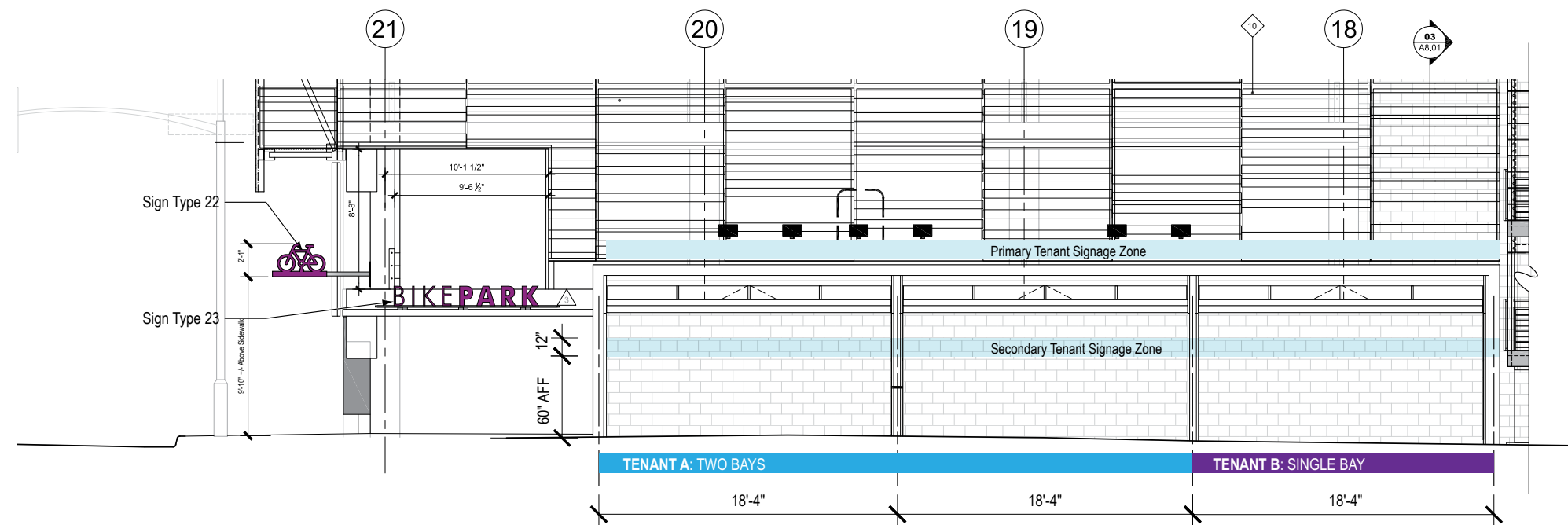
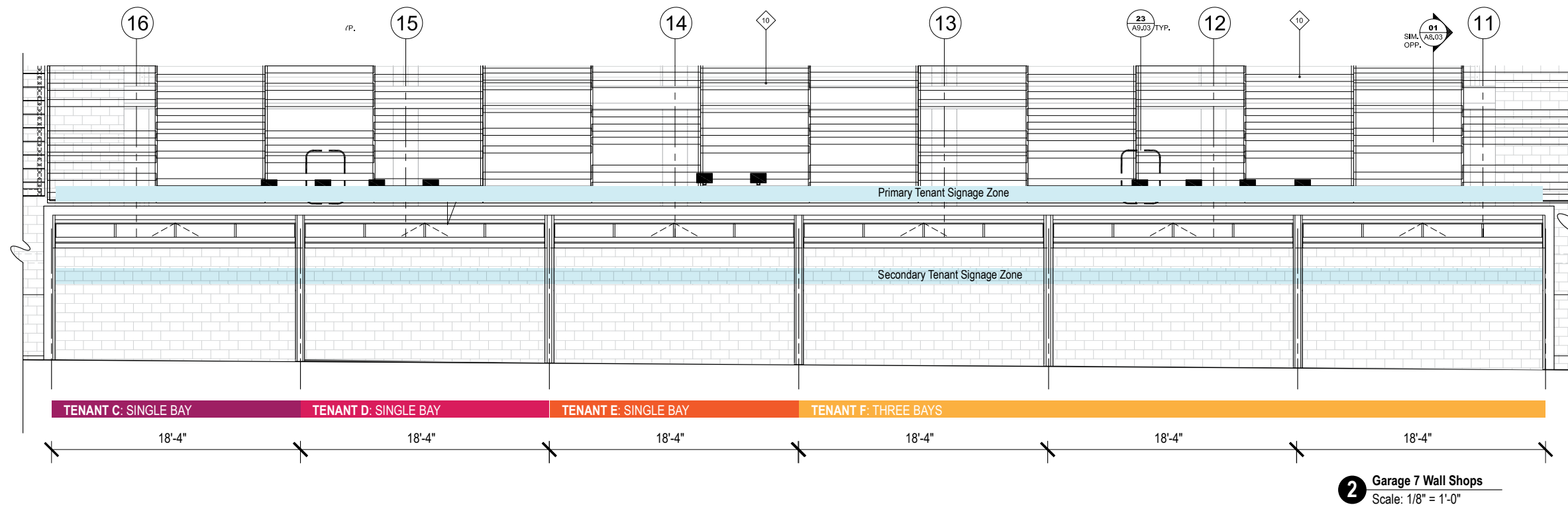
395 Santa Monica Place, Santa Monica, CA 90401



STOREFRONT SIGNAGE PLACEMENT EXAMPLE

SANTA MONICA PLACE

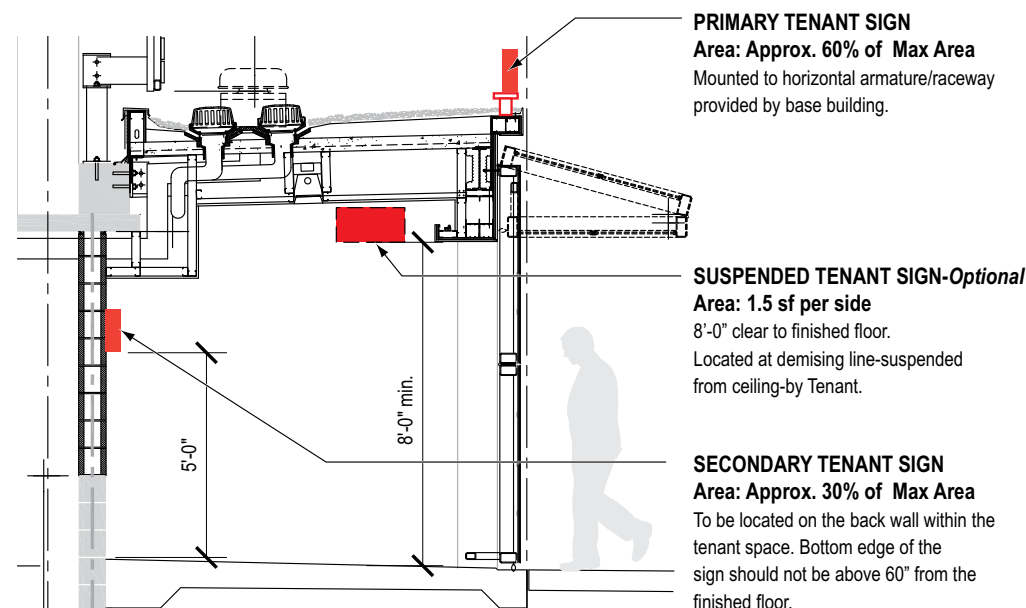
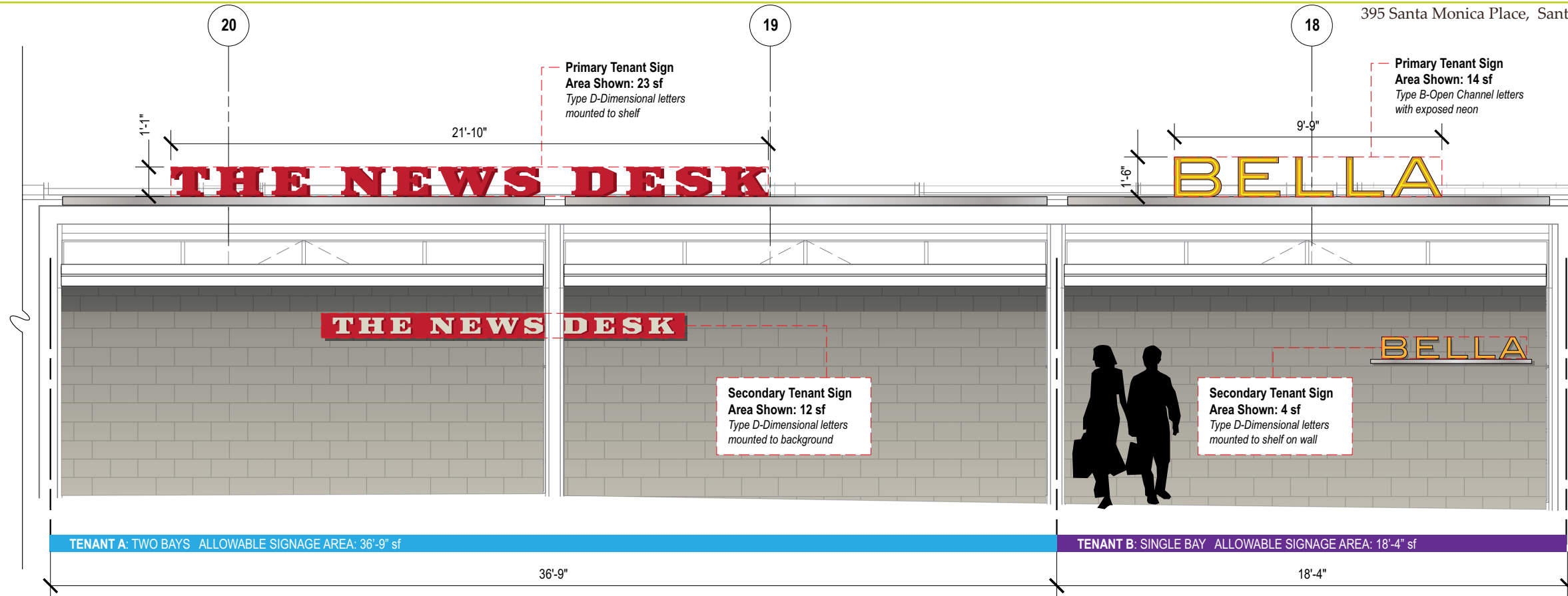
395 Santa Monica Place, Santa Monica, CA 90401



WALL SHOPS TENANT SIGNING

SANTA MONICA PLACE

395 Santa Monica Place, Santa Monica, CA 90401



SIZE RESTRICTIONS:

Maximum letter cap height of 1'-6" and maximum symbol or shape height of 2'-0"

PER SANTA MONICA SIGN CODE:

Maximum overall sign area may not exceed 1 square foot per one linear foot of storefront.

THE FOLLOWING CONSTRUCTION METHODS ARE PERMITTED:

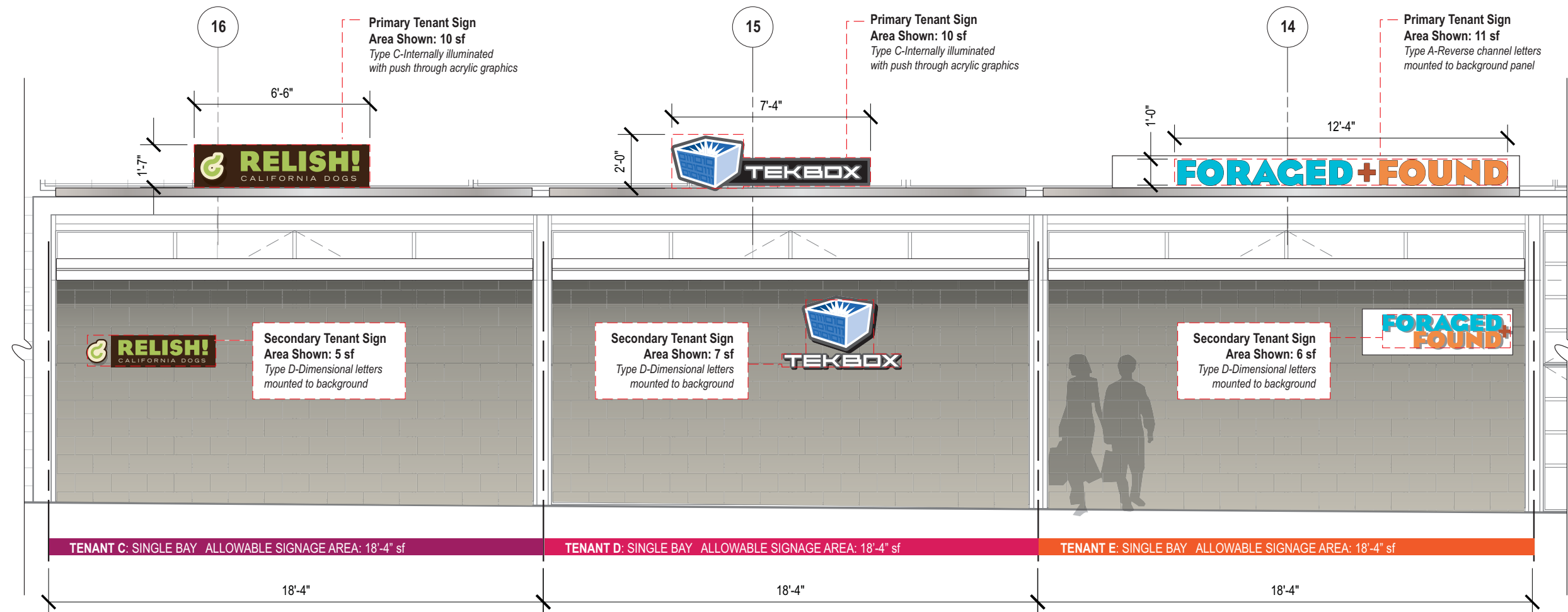
- Other conditions are subject to approval:
- A. Reverse channel dimensional halo-lit letterforms mounted to solid background panel
 - B. Open pan channel letterforms with recessed exposed neon.
 - C. Internally illuminated panel with push-through acrylic graphics.
 - D. Dimensional graphics or letterforms pinned off solid background panel or attached to the powered signage shelf.

1 Garage 7 Wall Shops
Scale: 1/4" = 1'-0"

WALL SHOPS TENANT SIGNING

SANTA MONICA PLACE

395 Santa Monica Place, Santa Monica, CA 90401



TYPE A. Reverse channel dimensional halo-lit
Letterforms mounted to solid background panel



TYPE B. Open pan channel letterforms
with recessed exposed neon.



TYPE D. Dimensional graphics or letterforms pinned
mounted to a solid background.



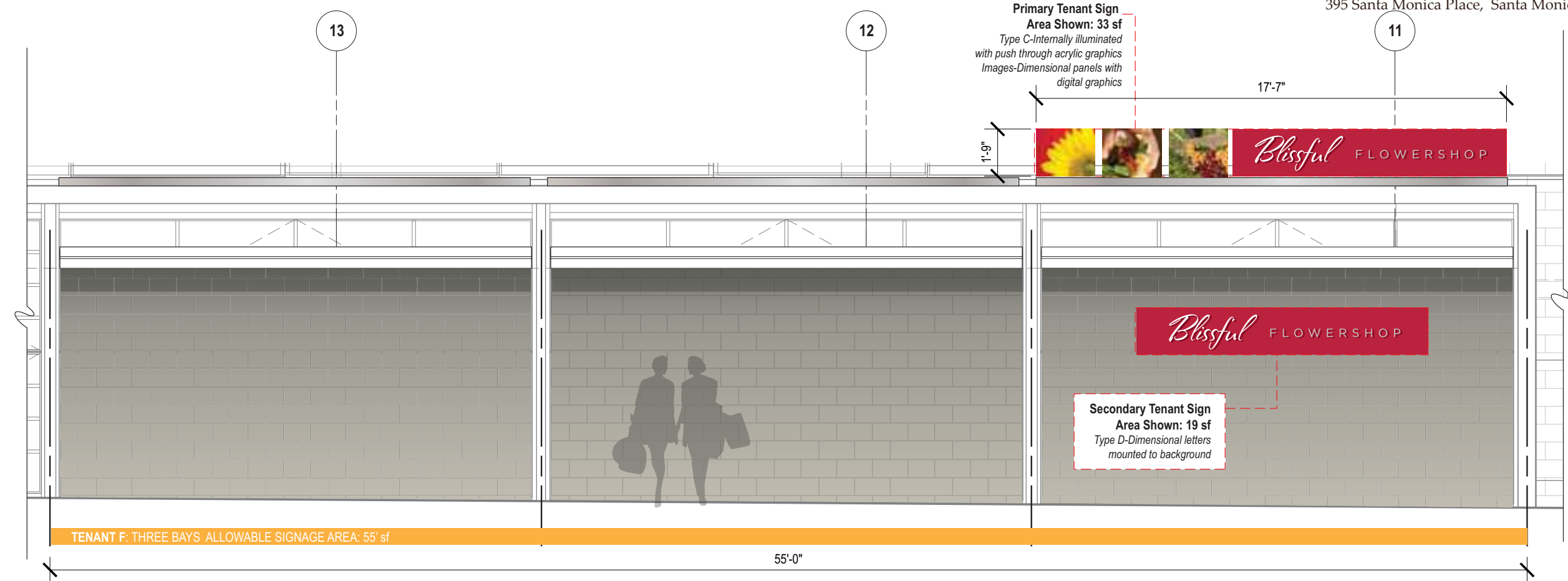
TYPE D. Dimensional graphics or letterforms pinned off
solid background panel or attached to a
powered signage shelf.

1 Garage 7 Wall Shops
Scale: 1/4" = 1'-0"

WALL SHOPS TENANT SIGNING

SANTA MONICA PLACE

395 Santa Monica Place, Santa Monica, CA 90401



1 Garage 7 Wall Shops
Scale: 1/4" = 1'-0"



TYPE C. Internally illuminated panel with



TYPE A. Reverse channel dimensional halo-lit



TYPE D. Dimensional graphics or letterforms pinned off

WALL SHOPS TENANT SIGNING