

# PROMENADE

— *at Casa Grande* —

Architect:

**ELLERMANN,  
SCHICK &  
BRUNO**  
ARCHITECTURE PLANNING

1555 E. Orangewood Ave. • Phoenix, AZ 85020  
Phone 602.266.6202 • Fax 602.265.6212

Developer:

**WP CASA GRANDE RETAIL LLC**

11411 N. Tatum Blvd. • Phoenix, AZ 85028  
Phone: 602-953-6200 • Fax: 602-953-1964

Signage Consultant:

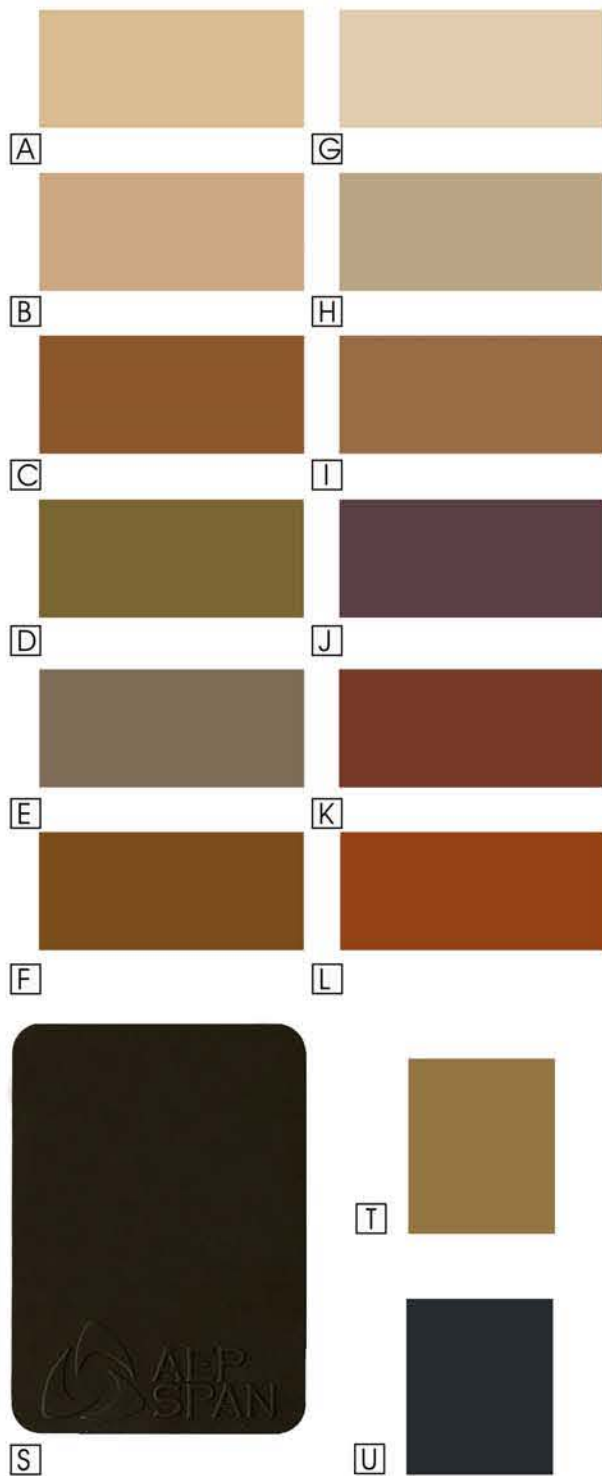
**bleier**  
INDUSTRIES

2030 W. Desert Cove Ave. • Phoenix, AZ 85029  
Phone 602.944.3117 • fax 602.395.0753

**C O M P R E H E N S I V E      S I G N      P L A N**

REVISED  
JANUARY, 4 2007





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4



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12



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14



W QR-17B



Y QR-1ALB



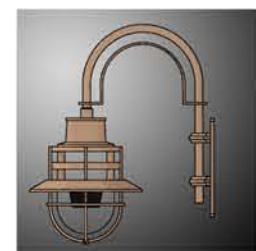
Q



R



V



15



16

## THE PROMENADE AT CASA GRANDE for W P Casa Grande Retail LLC.

### Legend:

Paint	DUNN EDWARDS	A. DE6150	Gourmet Honey
Field color		B. DE6136	Terracotta Sand
		C. DE6111	S'mores
		D. DE6174	Ridgecrest
		E. DEC739	Bison Beige
		F. DE6139	Summerville Brown
Accents		G. DE6142	Floating Feather
		H. DE6129	Rustic Taupe
		I. DE6117	Colorado Trail
		J. DE6397	Hickory Cliff
		K. DE6083	Badlands Sunset
		L. DE5216	Autumn Umber
Masonry	Stain to Match SUPERLITE Colors		
	L. Tierra Brown, Smooth		
	M. Buff, Smooth and Split		
	N. Cocoa Brown, Smooth and Split		
	O. Plum, Smooth and Split		
	P. Fuego Red, Smooth		
Cultured Stone	Q. Limestone, Cedar by CULTURED STONE CSV-2044		
	R. Southern LedgeStone, Rustic by CULTURED STONE CSV-2055		
Metal Roof	S. by AEP Span Cool Weathered Copper or similar		
Hardscape	T. Colored Concrete, DAVIS COLORS, San Diego Buff		
	U. Colored concrete, DAVIS COLORS, Dark Gray		
	V. PAVESTONE Pavers, City Stone, Canyon Blend		
Bollards	W. Quick Crete 11"(D) X 31"(H) Latte, Light Sand Blast		
	Y. Quick Crete 11"(D) X 40-1/4"(H) Latte, Light Sand Blast		
EARTHSTONE Pots	1. Navajo Large 29" X 23" X 12"		
	2. Pima Medium 22" X 21" X 9.5"		
	3. Lakota Planter (wok) Medium 39" X 19" X 23" Large 42" X 21" X 24"		
	4. Jungle Jugs Contemporary Medium 24" X 21.5" X 11" Large 28" X 24" X 12.5" Jumbo 36" X 30" X 18"		
Benches	5. DUMOR #118		
	6. DUMOR #160		
Trash/ Ash	7. Combination By MAGLIN MLWR 250-32 or MLR200-32 with ash tray side Mount		
Bike Rack	8. Madrax GNS-4-SF		
Awning Colors	9. SUNBRELLA Periwinkle/BrassFancy4940 4614		
	10. SUNBRELLA Tan 4911		
	11. SUNBRELLA Moss Classic 4671		
	12. SUNBRELLA Fern 4671		
	13. SUNBRELLA Royal Blue 4617		
	14. SUNBRELLA Mahogany 4667		
Lighting	15. SUN VALLEY LIGHTING OV1/OV2		
	16. McGraw Edison Galleria Square		

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PROJECT:	
The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE:	
Conceptual Material Palette	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO:	DATE:
2006-C-004	01/04/07
SCALE:	REVISIONS:
NTS	
SHEET NO:	
MB 1	

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APPROVED BY:

X

conceptual  
colors, materials & amenities

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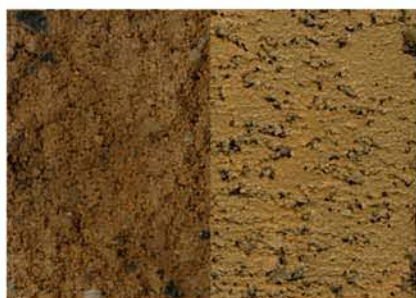
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03 MAY 2006

**ELLERMANN,  
SCHICK  
BRUNO**  
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L



M



N



O



P



# PROMENADE

— at Casa Grande —

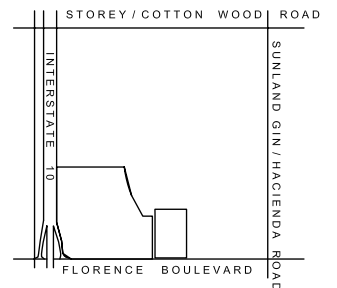
REVISED - 01/04/07

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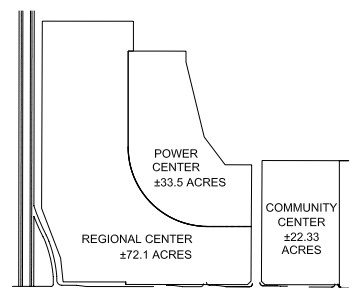
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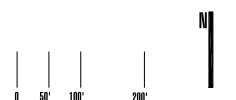
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1555 E BROADWAY AVE PHOENIX, AZ 85029  
TELE 602.250.8292 FAX 602.250.8212



vicinity map  
n.t.s.



parcel map  
n.t.s.



CONCEPTUAL SITE PLAN

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project #: 24053

date: 18 MAY 2006

revised: 06 June 2006



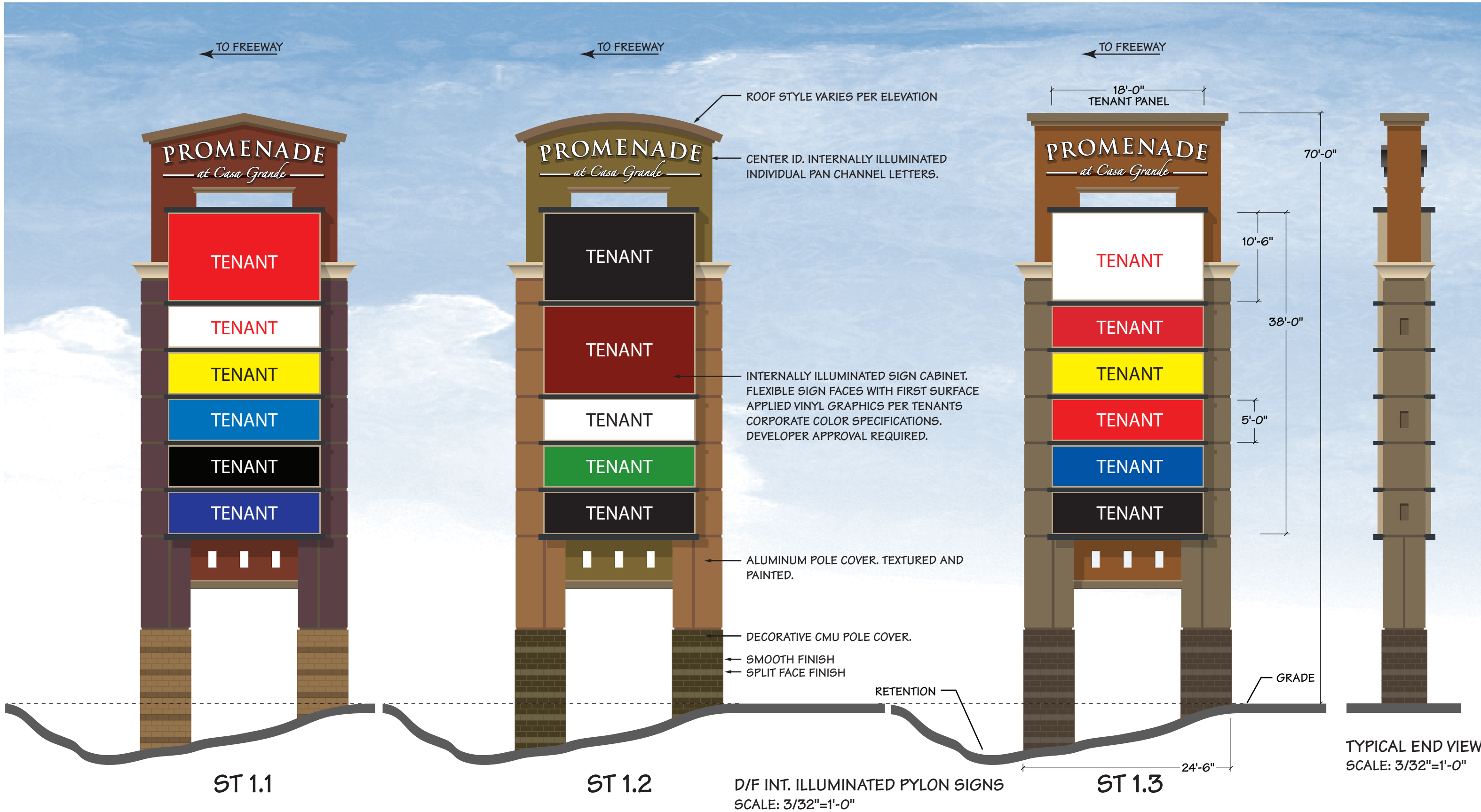
# PROMENADE

— at Casa Grande —

## Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QTY	HEIGHT MAX.	SIZE	ILLUMINATION	MATERIALS
ST 1 Freeway Pylon	Pylon	Center ID with multi-tenant identification	Perpendicular to Interstate 10	3	Seventy (70') feet	800 SF Sign Area Exclusive of Architectural Embellishments	Interior and Exterior Illumination	Textured Aluminum Cabinets, Powder Coated Embellishments, Flexface and Acrylics
ST 2 Multi-Tenant Monument	Monument	Multi-tenant identification	Perpendicular to Florance Blvd.	4	Twenty Two feet, Eight inches (22'-8")	150 SF Sign Area Exclusive of Architectural Embellishments	Interior and Exterior Illumination	Textured Aluminum Cabinets, Powder Coated Embellishments, and Acrylics
ST 3 Primary Center ID Entry Feature	Wall Monument	Center ID	Placed on Both Sides of Primary Drive Entry on Florence Blvd.	2	Fourteen feet, six inches (14'-6")	72 SF Sign Area Exclusive of Architectural Wall and Embellishments	Individual Illuminated Letters with Additional Ground Illumination	Masonry, Stucco and Fabricated Letters, Powder Coated Embellishments
ST 4 Secondary Entry Feature	Wall Monument	Entry ID	Placed on Both Sides of Secondary Drive Entry on Florence Blvd.	2	Five feet, Six inches (5'-6")	Sign Area Not Applicable	Ground Illumination	Masonry, Stucco and Powder Coated Embellishments
ST 5 Gas Price Monument	Monument	Gas Pricing	Perpendicular to Florence Blvd.	1	Ten feet, Eight inches (10'-8")	50 SF Sign Area Exclusive of Architectural Embellishments	Interior and Exterior Illumination	Textured Aluminum Cabinets, Powder Coated Embellishments, and Acrylics
ST 6 Vehicular Directional	Monument	Directs On-Site Vehicular Traffic	On-Site as Required	TBD	Six (6') feet	15 SF Sign Area Exclusive of Architectural Embellishments	Reflective and Non-Reflective Vinyl	Textured Aluminum Cabinets, Powder Coated Embellishments, Acrylics and Vinyl Copy
ST 7 Pedestrian Directory	Monument	Tenant Directory and Site Map	Throughout Site as Required to Inform Pedestrian Traffic	TBD	Seven (7') feet	10 SF Sign Area Exclusive of Architectural Embellishments	Interior and/or Exterior Illumination	Textured Aluminum Cabinets, Powder Coated Embellishments, Acrylics and Vinyl Copy





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Developer:  
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INDUSTRIES**

PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Multi-Tenant Pylon Sign Variations	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-D-007	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: ST 1	

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01/04/07 S-5



- # PROMENADE
- *at Casa Grande* —

Architect:

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**ARCHITECTURE PLANNING**

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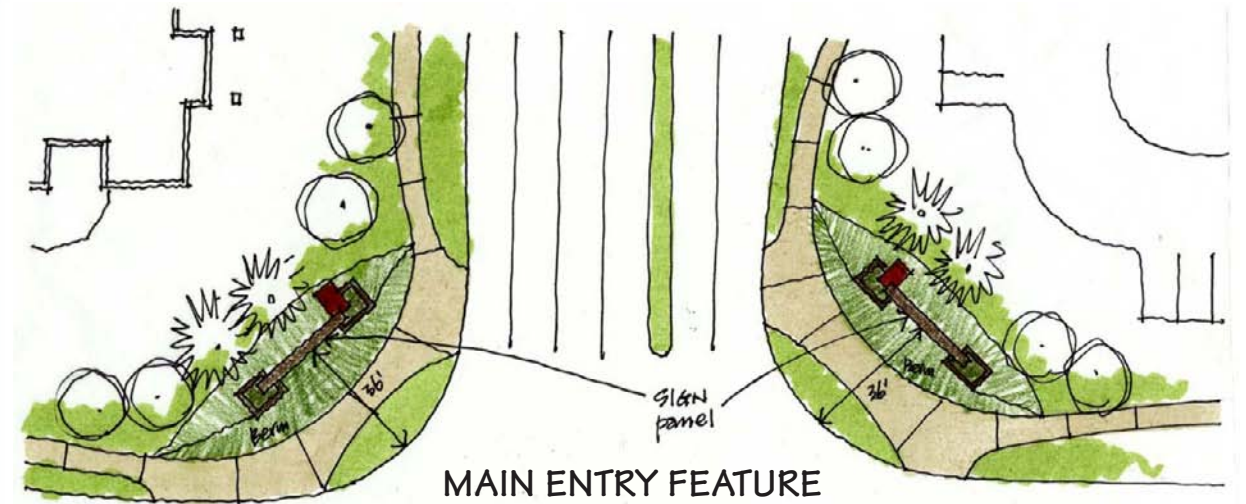
D/F INT. ILLUMINATED MONUMENT SIGN  
SCALE: 3/16"=1'-0"

**bleier**  
**INDUSTRIES**

DESIGN NO:	DATE:
2006-D-007	01/04/07
SCALE:	REVISIONS:
AS NOTED	
SHEET NO:	
ST 2	

01/04/07 S-6





MAIN ENTRY FEATURE  
PLAN VIEW

HALO ILLUMINATED REVERSE PAN CHANNEL LETTERS  
FINISH TO BE SPECIFIED BY PROJECT ARCHITECT FROM  
APPROVED COLOR AND MATERIAL PALETTE.

4' x 17' SIGNAGE AREA

7'-6"

11'-0"

PROMENADE  
— *at Casa Grande* —

46'-4"

PRIMARY CENTER ID / ENTRY FEATURE ELEVATION  
SCALE: 3/16"=1'-0"

END VIEW

PROMENADE  
— *at Casa Grande* —

Developer:

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PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Primary Center ID Entry Feature	DESIGNER: Dan Horton
SALES: Paul Bleier	

DESIGN NO: 2006-D-007	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: ST 3	

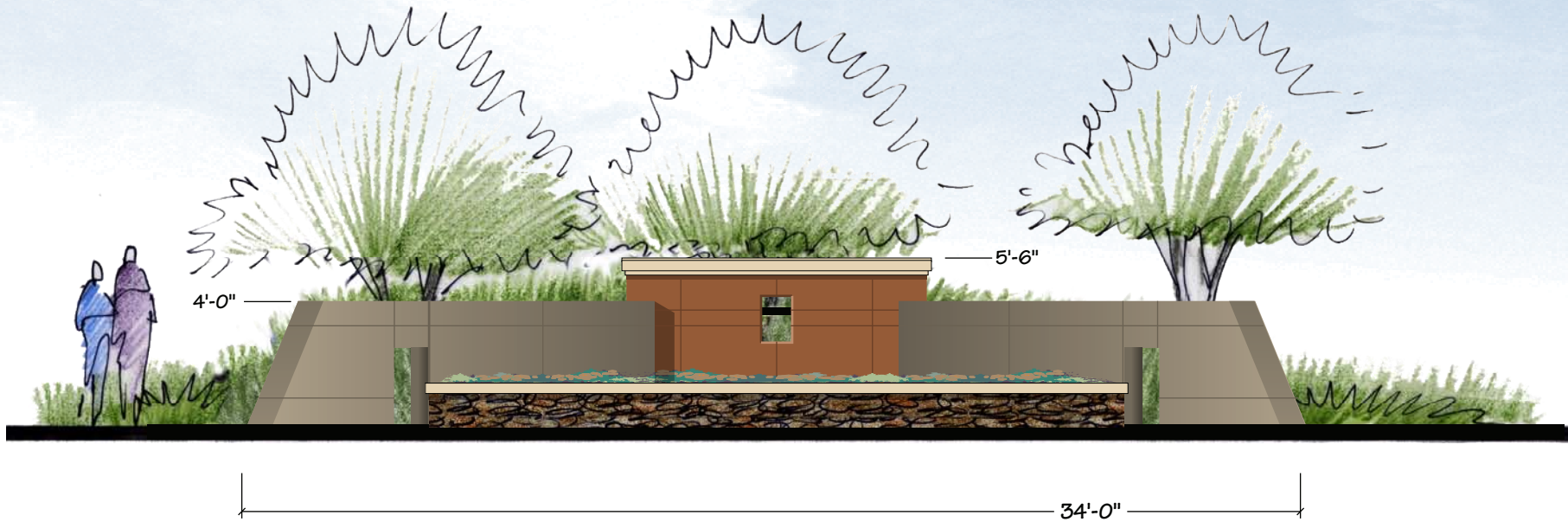
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SECONDARY ENTRY FEATURE PLAN VIEW  
SCALE: 3/16"=1'-0"



SECONDARY ENTRY FEATURE ELEVATION  
SCALE: 3/16"=1'-0"

PROMENADE  
— at Casa Grande —

Developer:  
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Architect:

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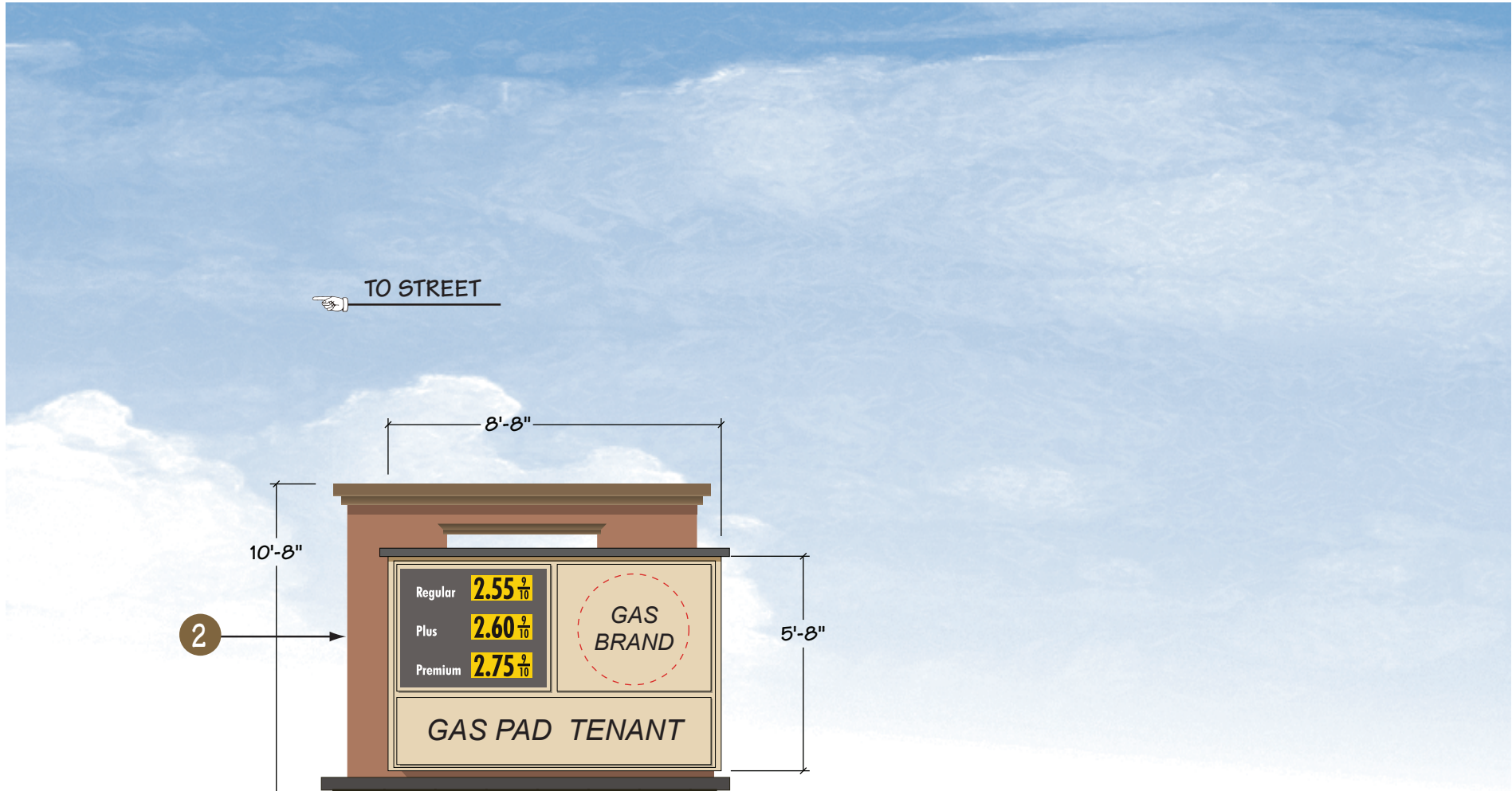


PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Secondary Entry Feature	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-D-007	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: ST 4	

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- 2 ALUMINUM POLE COVER. TEXTURED AND PAINTED. FINISH TO BE SPECIFIED BY PROJECT ARCHITECT FROM APPROVED COLOR AND MATERIAL PALETTE.
- 3 CMU POLE COVER AND PLANTER. MATERIALS AND FINISH TO BE SPECIFIED BY PROJECT ARCHITECT FROM APPROVED COLOR AND MATERIAL PALETTE.

D/F INT. ILLUMINATED GAS PRICE MONUMENT SIGNS  
SCALE: 1/4"=1'-0"

PROMENADE  
— at Casa Grande —

Developer:  
WP CASA GRANDE RETAIL LLC

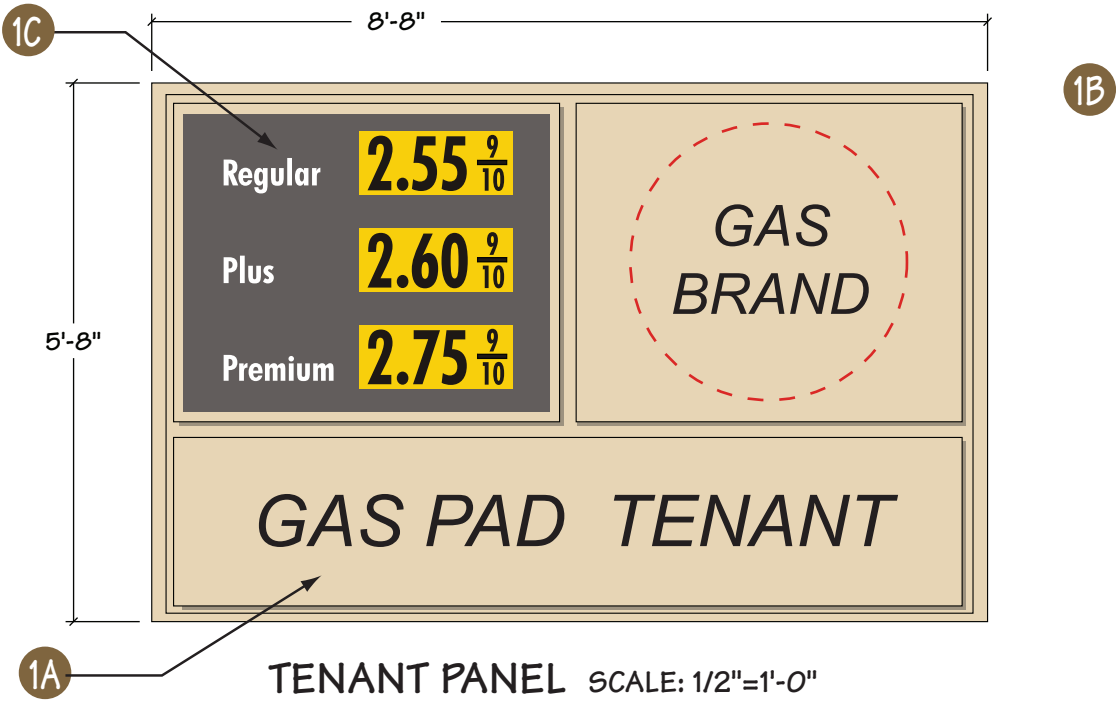
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COLOR SPECIFICATIONS:



- 1 TENANT PANEL SPECIFICATIONS
- 1A Tenant Copy will be 3/8" push-thru clear acrylic with first surface applied vinyl.
- 1B Tenant brand sign to be a pushed thru embossed face w/second surface decoration
- 1C Tenant price change sign is to be a formed face w/zip track to accommodate (3) three products. All face decoration to be second surface. Color "Dark Grey".

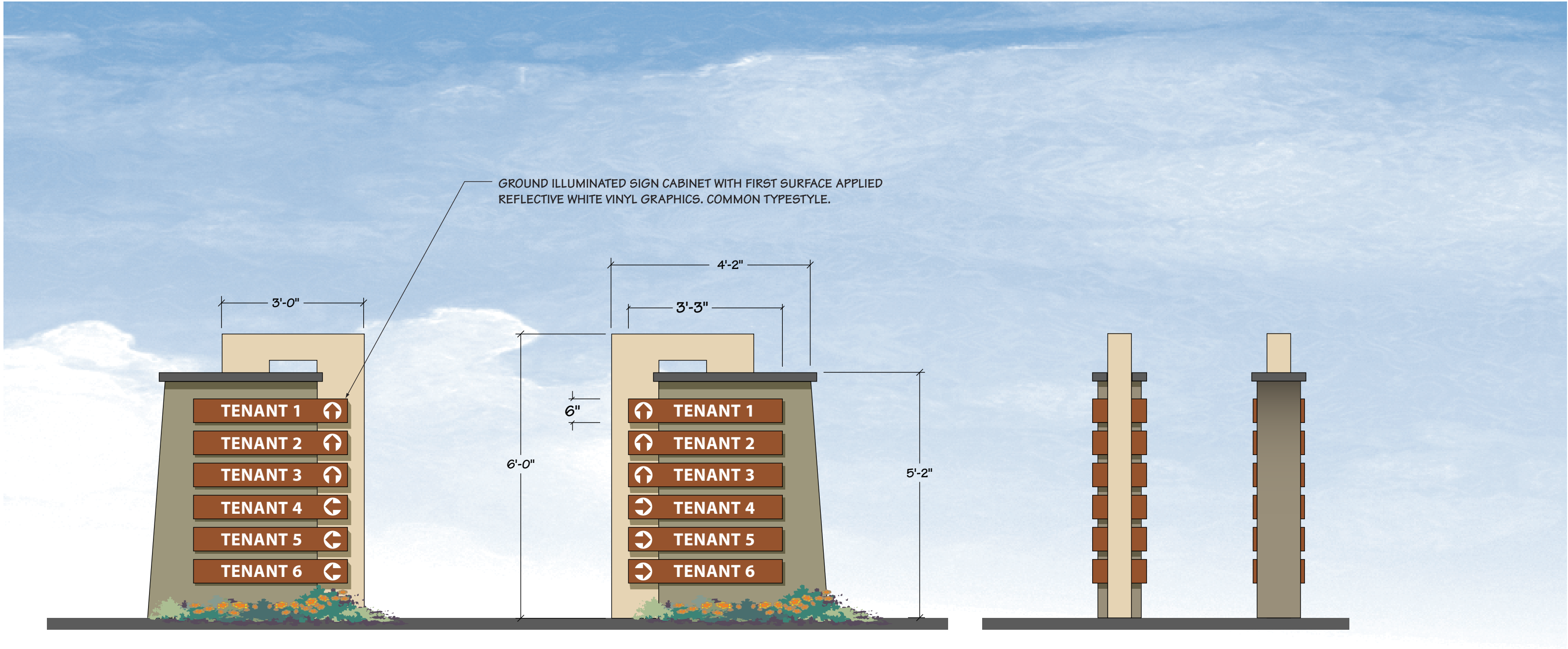
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PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Gas Price Monument Sign	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-D-007	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: ST 5	

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SIDE 1 ELEVATION

SIDE 2 ELEVATION

END VIEW 1

END VIEW 2

D/F NON-ILLUMINATED VEHICULAR DIRECTIONAL W/REFLECTIVE GRAPHICS  
SCALE: 1/2"=1'-0"

PROMENADE  
— at Casa Grande —

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Architect:

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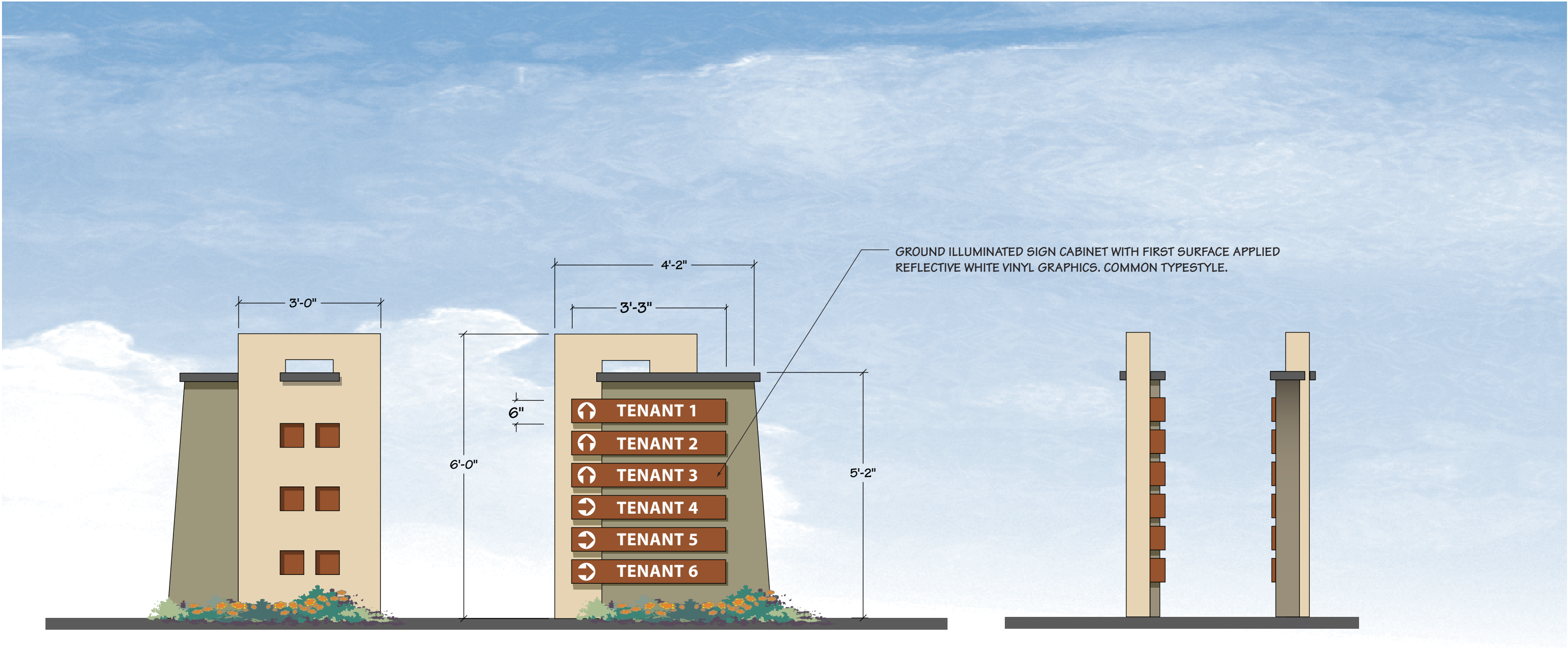
PROJECT: <b>The Promenade at Casa Grande I-10 &amp; Florence Blvd Casa Grande, AZ</b>	
TITLE: <b>D/F Vehicular Directional Sign</b>	
DESIGNER: <b>Dan Horton</b>	SALES: <b>Paul Bleier</b>

DESIGN NO: <b>2006-D-007</b>	DATE: <b>01/04/07</b>
SCALE: <b>AS NOTED</b>	REVISIONS:
SHEET NO: <b>ST 6DF</b>	

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01/04/07 S-10





REAR ELEVATION

FRONT ELEVATION

END VIEW

END VIEW

S/F NON-ILLUMINATED VEHICULAR DIRECTIONAL W/REFLECTIVE GRAPHICS  
SCALE: 1/2"=1'-0"

PROMENADE  
— *at Casa Grande* —

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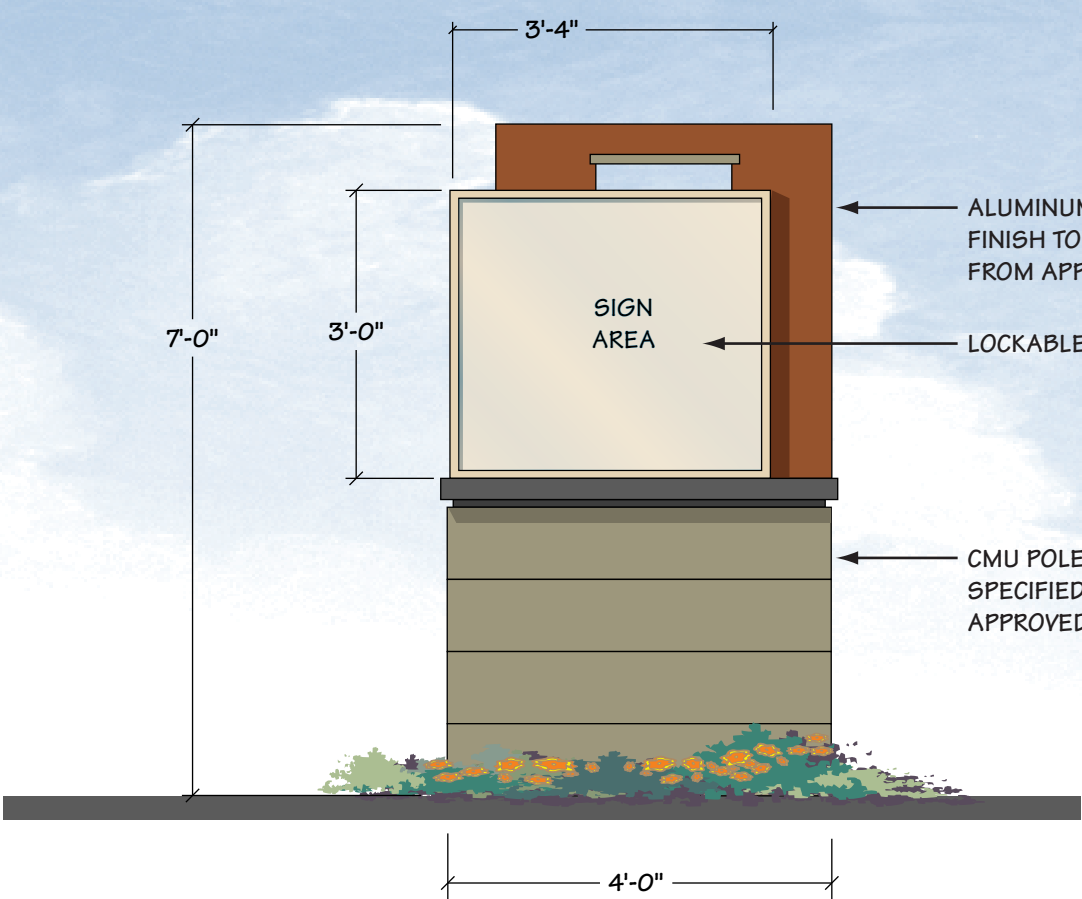
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PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: S/F Vehicular Directional Sign	
DESIGNER: Dan Horton	SALES: Paul Bleier

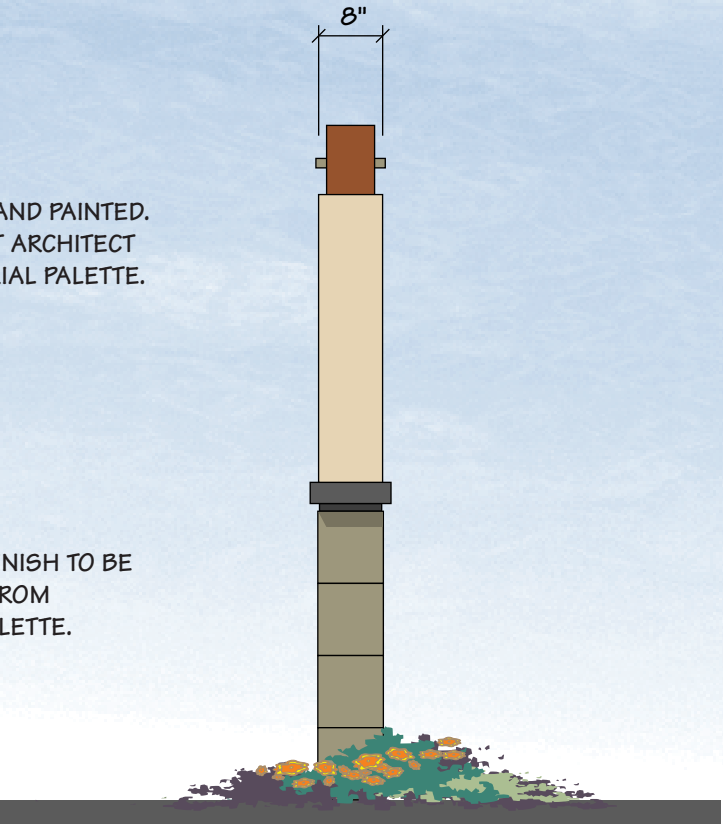
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SCALE: AS NOTED	REVISIONS:
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01/04/07 S-11



D/F PEDESTRIAN DIRECTORY  
SCALE: 1/2"=1'-0"



END VIEW

PROMENADE  
— at Casa Grande —

Developer:  
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PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Pedestrian Directory	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-D-007	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: ST 7	

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## General Requirements Building Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Casa Grande Regional Shopping Center ( the “Project”) for the mutual benefit of all owners, occupants and Tenants of the Project (all of which are collectively referred to as “Tenants”, and to comply with the approved Comprehensive Sign Plan for the development, regulations of the City of Casa Grande Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. These criteria are subject to approval by the City of Casa Grande as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved by the City of Casa Grande (the “City”), the latter shall prevail.

### I. GENERAL REQUIREMENTS

- A. Tenant shall submit or cause to be submitted to Developer, for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, size, layout, design color, illumination materials and method of attachment.
- B. Tenant or Tenant's representative shall obtain all permits for signs and their installation.
- C. All signs shall be constructed and installed at Tenant's sole expense.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality.
- F. Tenant shall be responsible for the installation and maintenance of Tenant's sign.
- G. Variances from the standards set forth herein may be approved with the mutual consent of the City and the Developer.

### II. SPECIFICATIONS - TENANT SIGNS

#### A. General Specifications

- 1. No animated, flashing or audible signs shall be permitted.
- 2. All signs and their installation shall comply with all local building and electrical codes.
- 3. All Tenant signage shall consist of individual letters and logos installed onto the building's wall surface. The area contained within any background color, material and/or structure used to delineate Tenant's signage shall not be included in the calculation of the permitted size of the sign. Developer shall have the sole and separate discretion in varying any provision of these specifications.
- 4. All cabinets, conductors, transformers and other equipment shall be concealed.
- 5. Painted lettering shall not be permitted except as approved by the Developer and the City of Casa Grande.
- 6. Any damage to the sign band face or roof deck resulting from Tenant's sign installation shall be repaired at Tenant's sole cost.
- 7. Upon removal of any sign by Tenant, any damage to the sign band face shall be repaired by Tenant or by Developer at Tenant's cost.

#### B. Location of Signs

- 1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Developer.

### III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include individual pan channel letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or any combination thereof. Shop Tenants A and B shall be required to utilize a decorative background behind individual signage elements. See example on sheet S-2. Cabinet type signs shall not be permitted except as part of a nationally recognized corporate identification program. Electrical connections shall be concealed to remote and/or self-contained transformers. All signage shall be installed in compliance to the City of Casa Grande electrical code and UL 2161 / UL 48 specifications. Any sign installation found to be non-compliant shall be repaired immediately by the Tenant at Tenant's sole expense.

#### A. Sign Area

- 1. The maximum aggregate sign area per building elevation for each Tenant shall be calculated by multiplying one and one-half (1.50) times the length of the storefront(s) and/or elevation(s) occupied by the Tenant. For major and mini-major Tenants which contain greater than 5,000 square feet of floor area, sign area may be increased by up to twenty five (25%) percent to accommodate national corporate identification programs. Each shop and

freestanding pad Tenant having floor area of 5,000 square feet or less shall be permitted a minimum of fifty (50) square feet of sign area per elevation upon which signage is placed.

B. Maximum Letter Height and Placement Restrictions

1. Tenant signage shall be installed in accordance with this approved Comprehensive Sign Plan and in location(s) designated by the Developer and/or Developer's agents.
2. Shop Tenants A thru F located in the Mainstreet area shall be limited to a maximum letter height of twenty four (24") inches. Shop Tenants occupying 5,000 SF or less shall be limited to a maximum letter height of thirty-six (36") inches. Mini-Majors occupying 5,000 SF through 9,999 SF shall be limited to a maximum letter height of forty-eight (48") inches. Mini-Majors occupying 10,000 SF through 20,000 SF shall be limited to a maximum letter height of sixty (60") inches. Mini-Majors occupying 20,001 SF through 49,999 SF shall be limited to a maximum letter height of seventy-two (72") inches. Theatre and Major Tenants occupying greater than 50,000 SF shall be limited to a maximum letter height of ninety-sixty (96") inches. Theatre and national retailers shall be permitted to utilize their standard corporate identification programs subject to sign area limitations contained in the approved Comprehensive Sign Plan. All signage shall be reviewed and approved by the Developer and shall be appropriate to the surrounding building features, environment, and thematic design of the Casa Grande Regional Shopping Center. Variances from the standards set forth herein may be approved with the mutual consent of the City and the Developer.
3. Dimensions of Signage on Wall Surface: The length of a wall sign shall not exceed eighty (80%) percent of the horizontal length of the exterior building elevation and/or wall surface upon which it is placed. The height of a wall sign shall not exceed eighty (80%) percent of the vertical dimension of the background to which the signage is attached. The Developer shall have sole and separate discretion in varying any provision of these specifications.
4. Shop Tenant signage shall not exceed eighty (80%) percent of the shop Tenant's leased storefront length.

C. Illumination

1. Tenant building signage may be internally illuminated, backlit to create a silhouette, contain exposed neon and/or combination of lighting methods mentioned herein.

D. Under Canopy Sign

1. Each shop Tenant shall install a double-faced non-illuminated under canopy blade sign in accordance to specifications approved in this Comprehensive Sign Plan. Major and Mini-Major Tenants shall have the option to do so.

E. All under canopy blade sign copy shall be flat cut out graphics and surface applied to both sides of the display.

IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction or similar method to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.



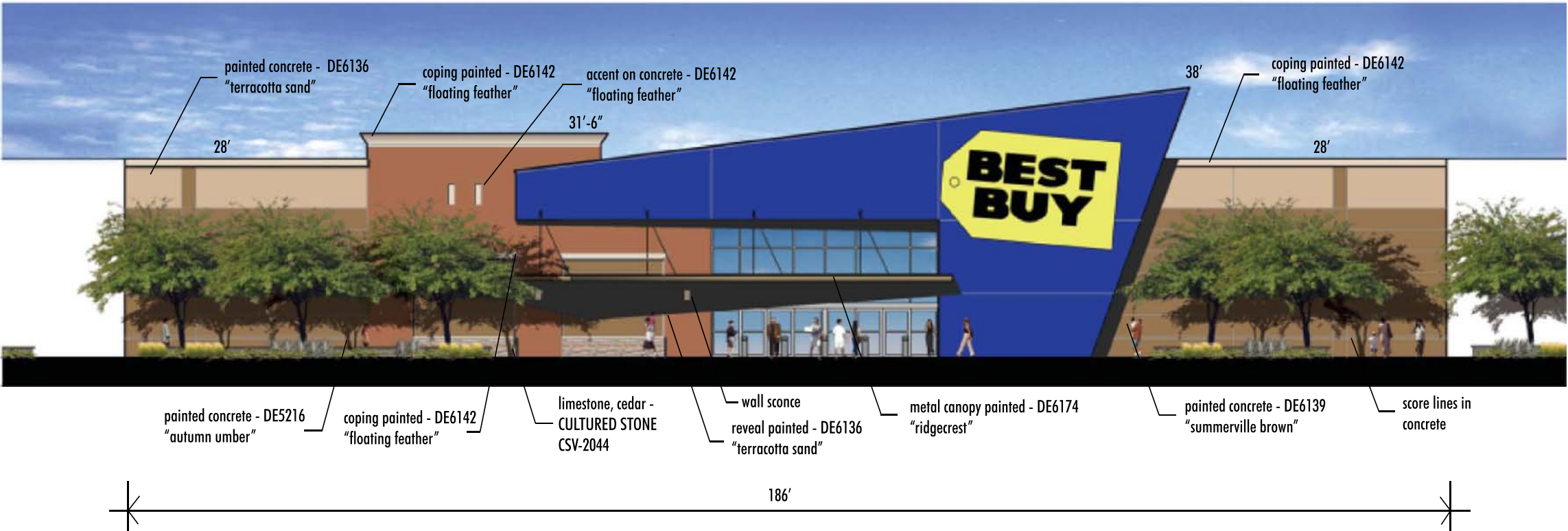


## Building Sign Matrix Major and Mini-Major Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE **	ILLUMINATION	MATERIALS
Major Tenant with occupancy greater than 50,000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	96" Maximum Upper Case Letter Height	1.5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Mini-Major Tenant with occupancy greater than 20,001 SF but less than 49,999 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	72" Maximum Upper Case Letter Height	1.5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Mini-Major Tenant with occupancy greater than 10,000 SF but less than 20,000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	60" Maximum Upper Case Letter Height	1.5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Mini-Major Tenant with occupancy greater than 5000 SF but less than 9,999 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	48" Maximum Upper Case Letter Height	1.5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
All Tenants	Under Canopy Blade Sign (Optional)	Tenant Identification	In front of tenant's leased space	Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

**General Notes:**

- 1) All signs shall be attached to the building surface, canopies and/or specialty structures.
- 2) Major and Mini-Major Tenants may place signage on any elevation offering readability in locations approved by the Developer.
- 3) Signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof. Major and Mini-Major tenants may consider exceptions such as cabinet type signs for corporate identification programs, if approved by the Developer.
- 4) Major and Mini-Major signage shall not exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed eighty (80%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features and in certain instance may extend above a parapet and/or roofline.



PROMENADE  
— at Casa Grande —

Developer:

WP CASA GRANDE RETAIL LLC

11411 N. Tatum Blvd. • Phoenix, AZ 85028  
Phone: 602-953-6200 • Fax: 602-953-1964

Sign Area

The maximum aggregate sign area per building elevation for each Tenant shall be calculated by multiplying one and one-half (1.50) times the length of the storefront(s) and/or elevation(s) occupied by the Tenant. For major and mini-major Tenants which contain greater than 5,000 square feet of floor area, sign area may be increased by up to twenty five (25%) percent to accommodate national corporate identification programs. Each shop and freestanding pad Tenant having floor area of 5,000 square feet or less shall be permitted a minimum of fifty (50) square feet of sign area per elevation upon which signage is placed.

Individual Letter Height

Shop Tenants occupying 5,000 SF or less shall be limited to a maximum letter height of thirty-six (36") inches. Mini-Majors occupying 5,000 SF through 9,999 SF shall be limited to a maximum letter height of forty-eight (48") inches. Mini-Majors occupying 10,000 SF through 20,000 SF shall be limited to a maximum letter height of sixty (60") inches. Mini-Majors occupying 20,001 SF through 49,999 SF shall be limited to a maximum letter height of seventy-two (72") inches. Theatre and Major Tenants occupying greater than 50,000 SF shall be limited to a maximum letter height of ninety-sixty (96") inches. Theatre and national retailers shall be permitted to utilize their standard corporate identification programs subject to sign area limitations contained in the approved Comprehensive Sign Plan. All signage shall be reviewed and approved by the Developer and shall be appropriate to the surrounding building features, environment, and thematic design of the Casa Grande Regional Shopping Center. Variances from the standards set forth herein may be approved with the mutual consent of the City and the Developer.

Placement

The length of a wall sign shall not exceed eighty (80%) percent of the horizontal length of the exterior building elevation and/or wall surface upon which it is placed. The height of a wall sign shall not exceed eighty (80%) percent of the vertical dimension of the background to which the signage is attached. The Developer shall have sole and separate discretion in varying any provision of these specifications.

Illumination

Tenant building signage may be internally illuminated, backlit to create a silhouette, contain exposed neon and/or combination of lighting methods mentioned herein.



TYPICAL BUILDING SIGNAGE - MAJOR TENANT

Architect:

ELLERMANN,  
SCHICK  
&  
BRUNO  
ARCHITECTURE PLANNING

1555 E. Orangewood Ave. • Phoenix, AZ 85020  
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2030 WEST DESERT COVE AVE. • PHOENIX, ARIZONA 85029 • 602.944.3117 • FAX 602.395.0753 • SALES@BLEIERINDUSTRIES.COM



PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Major Tenant Signage	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-C-004	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: M-1	

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# PROMENADE

— *at Casa Grande* —

## Building Sign Matrix – Theatre

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE **	ILLUMINATION	MATERIALS
Building Signage	Wall Mounted Signs	Theatre Identification	All elevations that offer readability	96" Maximum Letter Height	1.5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Image Panels	Wall Mounted Signs	Thematic	All elevations that offer readability	TBD ***	TBD ***	Interior and/or Exterior	Aluminum, Acrylic, Painted Metal, Flexface Material
Electronic Showtime	Wall Mounted Signs	Showtimes	Ticketing	TBD ***	TBD ***	Electronic LED	Aluminum, Acrylic, Painted Metal
Posters	Wall Mounted Signs	Movie Posters	Pedestrian Area	TBD ***	TBD ***	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal
Exposed Neon	Wall Mounted	Thematic Design	TBD ***	TBD ***	TBD ***	Neon Tubing	Neon Tubing

### General Notes:

- 1) All signs and/or devices identifying the theatre use, shall be attached to the building surface, canopies and/or specialty structures.
- 2) Theatre signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof.
- 3) Thematic graphic images may be displayed throughout the theatre complex on framed structures attached to support structures, building walls, and pylons.
- 4) Theatre signage shall not exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. Theatre signage may extend above a roofline and/or background surface to which it is attached.



# TYPICAL THEATRE BUILDING SIGNAGE CONCEPTS

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.\*

\* Examples shown “for illustration purposes only” shall mean that city approves the examples shown as well as designs and construction similar to individual sign structures or group of sign structures shown herein.

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PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Typical Theatre Signage	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-C-004	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: T-1	

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# PROMENADE

## — at Casa Grande —

### Building Sign Matrix Shop Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Shop Tenants	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	36" Maximum Letter Height Exclusive of Logos  Within Building Silhouette	1.5 SF / Linear Foot of Building Street Frontage (Typical)  Shops having less than 33.33 lineal feet of frontage shall be entitled to a minimum of 50 SF Minimum (Typical) Per Building Elevation Upon Which Signage is Placed	Interior, Backlit or a Combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Shop Tenants A thru F	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	24" Maximum Letter Height Exclusive of Logos  Within Building Silhouette	1.5 SF / Linear Foot of Building Street Frontage (Typical)  Shops having less than 33.33 lineal feet of frontage shall be entitled to a minimum of 50 SF Minimum (Typical) Per Building Elevation Upon Which Signage is Placed	Interior, Backlit or a Combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Shop Tenants	Under Canopy Blade Sign (Mandatory)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

#### General Notes:

- 1) All signs shall be attached to the building surface, canopies and/or specialty structures as designated by the Developer.
- 2) Signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof. The Developer may consider exceptions for corporate identification programs.
- 3) Shop tenant signage shall not exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed eighty (80%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.
- 4) Shop Tenants A and B shall be required to utilize a decorative background behind individual signage elements. See example on sheet S-2.



## TYPICAL SHOP BUILDING SIGNAGE CONCEPTS

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.\*

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**bleier**  
INDUSTRIES

PROJECT:  
The Promenade at Casa Grande  
I-10 & Florence Blvd  
Casa Grande, AZ  
TITLE:  
Typical Shop Tenant Signage  
DESIGNER:  
Dan Horton  
SALES:  
Paul Bleier

DESIGN NO:  
2006-C-004  
SCALE:  
AS NOTED  
SHEET NO:  
S-1  
DATE:  
01/04/07  
REVISIONS:

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TYPICAL SHOPS A & SHOPS B BUILDING SIGNAGE

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION IN COMBINATION WITH A DECORATIVE BACKGROUND ELEMENT.  
FOR ILLUSTRATION PURPOSES ONLY.

PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Typical Shop A & B Tenant Signage	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-C-004	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: S-2	



**Building Sign Matrix  
Pad Tenants**

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pad Tenant	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	36" Maximum Letter Height Exclusive of Logos	1.5 SF / Linear Foot of Building Street Frontage (Typical)  50 SF Minimum (Typical)	Interior, Backlit, or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	Under Canopy Blade Sign (Optional)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-Illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Menu Signs	Menu Display and Pricing	Drive Thru	Per City of Casa Grande Sign Ordinance	Per City of Casa Grande Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	Traffic Directionals	Vehicular	Driveways and Drive Thru as Required	Per City of Casa Grande Sign Ordinance	Per City of Casa Grande Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	ATM	ATM	Wall or Freestanding	Per City of Casa Grande Sign Ordinance	Per City of Casa Grande Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material

- General Notes:
- 1) All signs shall be attached to the building surface, canopies and/or specialty structures as designated by the Developer.
  - 2) Signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof. The Developer may consider exceptions for corporate identification programs.
  - 3) Pad tenant signage shall not exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed eighty (80%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.





TYPICAL PAD BUILDING SIGNAGE CONCEPTS

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.\*

\* Examples shown “for illustration purposes only” shall mean that city approves the examples shown as well as designs and construction similar to individual sign structures or group of sign structures shown herein.

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PROJECT: The Promenade at Casa Grande I-10 & Florence Blvd Casa Grande, AZ	
TITLE: Typical Pad Tenant Signage	
DESIGNER: Dan Horton	SALES: Paul Bleier

DESIGN NO: 2006-C-004	DATE: 01/04/07
SCALE: AS NOTED	REVISIONS:
SHEET NO: P-1	

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