

Electrical Criteria: (continued):

Conduits and Wires:

1. Tenant shall extend Landlord's conduit, as needed, within the Tenant space to Tenant's main switch transformer and/or panel board.
2. Tenant shall install feeder wires through the main electrical service and make the final connections to the tenant feeder main located at the meter section distribution point. Tenant shall coordinate with Landlord's electrical contractor or Landlord Representative.
3. All main feeder wires from the main electrical meter section breaker shall be sized to meet NEC. Main service feeders, as a minimum shall be treated for the sum of all loads, plus twenty-five percent (25%) space capacity. Branch circuits connected loads shall not exceed eighty (80%) of rated capacity.
4. Minimum circuit wire size shall be #12 AWG excluding control wiring. All main and branch circuitry shall be copper. All wiring is to have 600 volt insulation, Type THW or THHN for main feeders. All wiring shall be color coded per NEC. Same color shall identify same phase throughout the system.
5. Panel connected loads within the Tenant space and main feeder conductors (from Landlord meter section to panel) shall be balanced within plus or minus ten percent (10%).

Electrical Criteria: (continued):

6. All conduits shall be concealed in finished areas. Minimum conduit shall be one-half inch (1/2") trade size. Conduit concealed in slab shall be minimum three quarter inch (3/4") trade size. No conduit shall be allowed to be installed in the slab unless absolutely necessary.
7. All wiring shall be installed in conduit. Conduit shall be galvanized steel, rigid heavy wall or electrical metallic tubing. Watertight fittings shall be used where required by code.
8. Conduit hangers, clamps, light fixture supports, etc., shall be fastened to bar joists or beams. No attachment or support from any roof deck is allowed. Exposed conduits shall be in straight lines parallel with or at right angles to column lines or beams and separated at least six inches (6") from water or gas lines wherever they run alongside or across such lines.
9. Flexible metal conduit shall be used only for connections inside casework and as the final connection (four feet 4'-0") maximum length and minimum one-half inch (1/2") electrical trade size to recessed fixtures or motors and electrical equipment that may generate vibration through the conduit system. No BX, AC or Romex type wiring will be allowed.
10. Furnish liquid-tight flexible conduits for outdoor installations. Floor boxes shall be watertight with cast threaded conduit.
11. Pull boxes or junction boxes are required to be of minimum twelve (12) gauge galvanized steel. Boxes in walls shall be galvanized pressed steel or cast metal. Caulk around boxes to eliminate noise transmission.

Electrical Criteria: (continued):

12. The electrical system serving the Tenant space shall be grounded in accordance with the latest requirements of the NED. Step-down transformers shall be grounded to the main cold water pipe in the demised space. This work should be completed by Tenant's electrical contractor at Tenant's expense.
13. Ground fault circuit interrupter shall be installed in branch circuits where required by code.
14. Prior to making any conduit, pipe or duct-roof penetration and/or positioning any equipment on the roof, all the proposed locations and/or penetrations must have Landlord's final written approval. Waterproofing of any installation shall be performed by the Landlord's authorized contractor at Tenant's sole expense. Tenant's contractor shall pay all costs directly to such contractor(s).

Electrical Panels

1. As required, provide lock-on devices on panel circuit breakers for exit and emergency lights and fire/smoke alarm system.
2. Panel connected loads within the demised premises and main feeder conductors from Landlord's meter section to panel must be balanced within plus or minus 10% across all phases.
3. Lighting panel boards shall be of the three phase, four wire circuit breaker type. Cabinet shall be constructed of code-gauge steel, having not less than four inch (4") gutter space

Electrical Criteria: (continued):

- on all sides. Doors shall be hinged with keyed cylinder locks and all locks shall be keyed alike. Circuit breakers shall be the thermal magnetic type with molded case with all two (2) and three (3) pole breakers of the common handle type. Distribution panels shall be of the convertible type utilizing automatic circuit breakers or fusible disconnect switches that shall be furnished with current limiting fuses. Tenant shall be required to install a main circuit breaker or manual disconnect within the Tenant's space.
- Lighting panels shall have quick-lag molded case breakers bolted to buss. Half-size or tandem breakers or plug-ins shall not be allowed. Distribution panels shall be either fusible-type (with quick-make, quick-break interrupter switches) or molded case circuit breaker type.
 - Furnish a complete typewritten identification directory card for all branch circuits in the panel door.

Miscellaneous Items:

- Transformers may not be suspended from the structure and are to be floor or floor supported platform mounted. Dry type transformers shall be class H rated, 480 volt primary to 120/208 volt, three phase, four-wire secondary capacity adequate to service Tenant's requirements. Noise level is limited to maximum of fifty (50) DB average, measured at a distance of one foot (1'-0") from the case, per NEMA Publication No. TR-1-1960 or the latest revision thereof.

Electrical Criteria: (continued):

- Prior to trenching/coring Tenant will be required to **x-ray the slab using the required Landlord approved contractor at Tenant's sole expense.** The reparation for such coring/ trenching is Tenant's responsibility, including any waterproofing, insect deterrent, etc. is to be by Tenant at Tenant's sole expense.
- The electrical system serving the Premises shall be grounded in accordance with the latest requirements of the NEC. System shall be grounded to the main cold water pipe in the demised space.
- As required by governing codes, furnish self-contained, battery pack emergency lighting and exit signs throughout the demised premises.
- Motors 3/4 HP or more shall be 208 volts, 3 phase or 480 volts, 3 phase.
- Manual or magnetic starters, switches, contacts, relays, time switches, safety devices and other controls shall be commercial-type with heavy duty ratings and shall be installed in strict conformance with the manufacturer's recommendations and applicable codes. Manual switches used as equipment disconnect shall have overload protection.
- Tenants are required to utilize electrical water heaters for domestic hot water and electric heaters for space heating.
- Engraved nameplates are required on distribution panels, motor starters, lighting panels and push button stations, etc.
- Tenant shall provide weatherproof GFI 120 volt duplex outlet on the roof mounted HVAC unit.

Electrical Criteria: (continued):

- All devices and equipment in finished areas shall be flush mounted where possible.
- No lighting can be installed outside the Tenant space, in the common area and/or ceiling for storefront lighting or sign illumination.
- Tenant's general contractor shall be required to provide temporary weatherproofing for all roof penetrations until Landlord's roofing contractor has made the final patch.
- If not already provided, Tenant's electrical contractor shall furnish as identification nameplate on Tenant's main disconnect switch in Landlord's meter section. Nameplates shall be one-eighth inch (1/8") thick plastic, black on white and etched letters. The minimum size shall be one inch (1") with only the Tenant's space number engraved on such permanently affixed.
- Tenant shall provide and install complete telephone service support facilities as required by the serving Telephone Company. All Tenant telephone equipment is to be contained within the Tenant's space. Tenant shall furnish a telephone backboard, a 120 volt, 20 amp duplex outlet on a separate circuit. Where Tenant does not have direct access to a service corridor, Landlord shall provide a 1" conduit from Tenant space to service corridor. Tenant to install telephone cables back to telephone terminal board. All other Tenants to provide 1" conduit sleeve into corridors. Tenant shall make application to the serving Telephone Company for service and shall comply with their requirements.

Electrical Criteria: (continued):

Tenant's telephone equipment is not permitted in Landlord's corridors. Tenant's telephone equipment is not permitted in Landlord's telephone equipment room.

15. Tenant shall install a local audible smoke alarm in their storage, preparation and sales area hard wired to Tenant's electrical system and shall furnish any other alarm system as may be required by local governmental authorities.
16. Tenant's HVAC system shall be powered off Tenant's electrical system. Tenant shall provide all power and control wiring, including final connection. System shall be connected to Landlord's Central Fire Alarm System.
17. All Tenant roof equipment shall be properly labeled with equipment name and retail space number. Helvetica typeface at 2" high weather proof and fade resistant lettering.
18. Floor boxes shall be water tight with cast threaded conduit hubs. Second floor deck will require it to be x-rayed prior to setting floor boxes.
19. All materials shall be new and of commercial grade and bear underwriters labels where such labeling applies.
20. All display window lighting must be controlled by a time clock and be on during the Shopping Center hours.
21. The switchboard is master metered and will be hot when Tenants come on board. The Tenant is to set a temporary panel in their space and pull off their permanent disconnect at the switchboard for their own temporary power.

Electrical Criteria: (continued):

Kiosks:

All items indicated within the Electrical General Requirements apply with the following additional criteria:

Landlord's Work:

1. Landlord shall provide a main electrical service distribution system of 120/208 volts, 3 phase, 4 wire, 60 cycle power.
2. A 60 amp Tenant feeder main located in Landlord's service distribution board.
3. One and one quarter (1 1/4") electrical conduit extended to a floor box within the kiosk area. Location as designated by the Landlord.
4. One inch (1") telephone conduit and pull wire extended to a floor box within the kiosk area. Location as designated by the Landlord.
5. Floor box provided shall be model Walker 225-5.

Tenant's Work:

1. Provide and install a complete main electrical service (with meter) and system to and within the kiosk.
2. Provide and install a 60 amp bolt on circuit breaker type panel and power system within the kiosk.
3. Provide and install kiosk and showcase lighting.
4. Provide and install a complete telephone system within the kiosk.

Electrical Criteria: (continued):

Please Note:

Tenant will be responsible for paying drawing review fees for electrical plans per the following criteria:

- \$300.00 for 100 amp - 200 amp tenants
- \$400.00 for 400 amp - 600 amp tenants
- \$500.00 for 800 amp - 1000 amp tenants
- \$600.00 for 1200 amp - 1600 amp tenants
- \$150.00 for re-checks

Landlord will require two (2) sets of electrical drawings upon submission.

ELECTRICAL CONTRACTOR CONTACT:

Nikolakopoulos & Associates, Inc.
 Alex Nikolakopoulos, Jr.
 2780 Skypark Dr., Suite 280
 Torrance, CA 90505
 (310) 530-7277
 (310) 530-7283 fax

Mechanical Criteria:

System Design:

Tenant shall furnish and install air conditioning, heating and ventilation equipment that shall serve the Tenant space at all times during business hours. Prior to design, the Tenant's engineer is to field verify existing conditions within the premises.

Other mechanical systems differing from the below system designs shall be reviewed by the Landlord on a location basis. Landlord shall reserve the right to deny any variance from these criteria.

All Tenants are required to utilize a split design or roof top packaged units as follows: (Lower level - split system; Upper Level - package units). These units shall be located on the roof in an approved location as designated by the On Site Tenant Coordinator.

Tenant shall design and install an air conditioning and heating system to serve the demised premises, based upon the following design conditions:

- Outside temperature: 93 degrees F (DB), 72 degrees F (WB)
- Inside temperature: 70 degrees F (DB) (minimum throughout the demised space). Provide supplementary heating as required and in compliance with all applicable codes.
- "U" factor of roof is .05 btuh/square foot. "U" factor for walls is .189 btuh/square foot.
- Tenant's engineer is to design and Tenant's contractor is to install the entire Mechanical System.

Mechanical Criteria: (continued):

- Any and all rooftop equipment must be located within the allocated roof top space as designated by the On Site Tenant Coordinator.

Landlord Work:

1. **Lower Level Tenants Only** - A common outside air duct main (OSA) for Tenant's system connection to an area as designated by the Landlord. Sizing of duct shall be required by code for minimum OSA requirements. The allotted amount of OSA air is as defined on the base building drawings.
2. **Lower Level Tenants Only** - A common exhaust duct for Tenant's system connections will be provided, located within the Demised Premises. Sizing of toilet exhaust duct shall be as required for minimum exhaust requirements and as determined by Landlord. The amount of toilet exhaust is as defined on the base building drawings.
3. Make-up air from the common mall area.
4. **Food Court Tenants Only - Grease Exhaust System:** It is the Tenant's responsibility to verify locations per drawings provided and site verification.
5. The Landlord will provide an opening in 2nd floor slab and roof.
6. The Landlord will provide a roof curb with lid.
7. **Food Court Tenants Only** - Provide a common make-up air duct for Food Court Tenant's make-up system connection located within the service corridor. The amount of make-up air is as defined on the base building drawings. Tenant shall transfer additional make-up air from the mall common area.

Mechanical Criteria: (continued):

General Requirements for Tenant's Work:

Tenant shall engage any/all Landlord approved contractors at Tenant's sole expense and Tenant's General Contractor shall pay all costs directly to such contractor.

1. Tenant's mechanical installation to be completed per all governing codes and all materials shall be new and of commercial grade and bare underwriters label(s), where such labeling applies. Installation shall be performed by a licensed Mechanical Contractor in a first class, workmanlike manner.
2. All work shall comply with the latest edition of the California Mechanical Code and all other codes as may be applicable within this jurisdiction.
3. Tenant's HVAC system shall be designed and installed to include all areas of the Tenant space.
4. All units will be Trane, Carrier, York, McQuay or approved equal.
5. Tenant shall furnish complete data indicating system air balance in the demised premises and a certified third party balance report no more than thirty (30) days after opening.
6. Access through Tenant's ceiling for service and inspection of the mechanical equipment must be provided. Access may be through factory access panels or removable ceiling tiles.
7. Tenants with grease, odor or smoke producing operations will be required to install pollution control equipment at Tenant's expense. Such systems shall be submitted for Landlord's approval. Tenants who choose not to install

Mechanical Criteria: (continued):

- such equipment and is found to, in Landlord's sole discretion, cause related problems with neighboring Tenants or main mall system, shall be required to retrofit their exhaust system to include pollution control at the Tenant's sole expense. Also see Food Service Tenants - Additional Requirements section.
8. Each Tenant using a split system should have a fan coil unit located within the ceiling plenum and a condensing unit on the roof. The rooftop condensing unit requires a separate connection and a disconnect switch by the Tenant electrician on the unit.
 9. All roof mounted equipment must conform to the following:
 - a. All roof mounted equipment shall be curb mounted (see attached detail) on raised support platforms (minimum 8" high) with all ducts, conduits, drains and refrigerant lines penetrating the roof inside the curb support. Fabricated support platforms for all roof equipment must be sized to span from centerline of the supports within the equipment bay as approved by the Landlord or On Site Tenant Coordinator.
 - b. All roof penetrations made by Tenant shall be subject to Landlord approval as to location and construction details (see attached details). Installation and weatherproofing of all Tenant roof installation must be performed by the Landlord's authorized roofing contractor and Tenant's General Contractor shall pay all costs therefore directly to such roofing contractor.

Mechanical Criteria: (continued):

- c. Tenant's condensing unit and/or packaged roof-mounted units shall be located on the roof in areas specifically designated for such equipment. These units shall conform to Landlord's requirements with respect to weight and size; shall not exceed six feet (6'-0") in height (installed); and shall provide a minimum eight inch (8") clearance from the top of the roof-mounted curb support platforms to the top finished surface of the roof. Any additional reinforcement of the roof structure necessary to support equipment shall be at Tenant's expense. No Tenant RTU or condensing unit shall rest on a joist supporting another Tenant's unit.
- d. Split system - The fan coil section shall be located within the Tenant's space.
10. Air handling units, heating equipment, water heaters and other equipment located within the Demised Premises shall be floor mounted, located over the toilet or storage areas on supports provided by Tenant, not to exceed maximum live load.
11. Tenant's air conditioning system shall be provided with all necessary controls and devices and provide compatibility with the enclosed mall air conditioning system.
12. Tenant is responsible for isolation of all equipment so that vibration and noises are not transmitted. Any noises deemed objectionable by Landlord's Tenant Coordinator shall be corrected at Tenant's expense.
13. Tenant shall connect any condensate drains

Mechanical Criteria: (continued):

- from air conditioning units to Tenant's floor drain located in their restroom or kitchen of per local codes. It is the responsibility of the Tenant's engineers to verify. Condensate piping will be copper type "M." Piping will be insulated and air tight to prevent the formation of condensation.
14. Tenant shall not use the attic space for return air plenum.
 15. Tenants are required to install a seven day time clock for controlling their HVAC system.
 16. Tenant is not permitted to use a water-cooling tower or any evaporative apparatus.
 17. No combustible materials of any type will be allowed above the Tenant's suspended ceilings.
 18. Tenant shall install a backdraft damper when connecting to a common outside air duct. Ruslein model #BD242 or Landlord approved equal.
 19. Lower Level Tenants shall connect to Landlord provided outside air and exhaust air common ducts. Tenants at upper level will provide outside air and exhaust air from roof above and include all work including curbs, roof penetrations, flashings and any other work required.
 20. Gas will not be provided for Tenant's HVAC.
 21. Tenant must label each piece of roof equipment with Tenants' name and space number. Use name plates. No hand written labels will be accepted.

Mechanical Criteria: (continued):
Roof Work:

1. Tenant shall use Landlord's roofing contractor for all re-roofing, weatherproofing, flashing and patching procedures. Tenant's General Contractor shall provide temporary weatherproofing for all roof penetrations until Landlord's roofing contractor has made the final patch. Weather proofing of all Tenant's roof installation shall be performed by Landlord's authorized roofing contractor. Tenant's contractor shall pay all costs directly to such roofing contractor.
2. Tenant shall procure and install walkways to and around all rooftop equipment as shown on enclosed detail. This work may be done by the Landlord's roof contractor and all expenses to be paid by the Tenant/Tenant's contractor.
3. No exhaust(s) or vent(s) shall be located within a minimum of ten feet (10'-0") of any supply or air intakes.
4. No fans, vents, ducts, other devices or equipment shall be installed outside of Tenant's premises, in any demising partitions or on exterior walls without Landlord approval.
5. No roof-mounted refrigerant, electrical or water piping can be installed horizontally over five feet (5'-0") in total length.
6. Conduit may not be run horizontally on the roof surface.
7. Access to the Mall roof is restricted to Landlord personnel and Landlord's designated contractors only. No Tenant contractor or subcontractor shall be permitted on the roof unless permission has been obtained from the On Site Landlord representative.

Mechanical Criteria: (continued):
Structural Requirements:

1. Tenant, at Tenant's sole expense, shall engage in the services of a structural engineer.
2. Tenant's structural engineer shall provide plans and specifications showing the device(s) or equipment location(s) and opening(s), installation details, weight specifications, structural reinforcing details, structural opening details and calculations.
3. All steel supports required by the Tenant to be attached to the base building steel structure shall be clipped, not welded.
4. Tenant shall return all fire proofing within the Tenant's demised space to the original thickness and rating where occurs.
5. Tenant must submit a set of plans, at Tenant's sole expense, to the designated Macerich structural plan reviewer for approvals. See Required Contractors list.

Duct Work:

1. Hanger wires, duct-straps, fastening devices, etc., shall be fastened to joists and/or beams above. **Do not attach anything directly to the slab above or roof deck (without Landlord's Structural Engineer's approval) and furnish seismic support details per C.B.C.**
2. For grease-related ductwork, Tenant, at Tenant's expense, shall enclose any required duct shafts located outside the Tenant's space with a two (2) hour fire-rated partitions or approved duct wrap. Landlord shall approve and designate the location(s) of any Tenant required duct shaft located outside the demised space.

Mechanical Criteria: (continued):

3. Specify the type of duct and duct insulation used, as per NFPA standards and Landlord's insurance carrier's requirements.
4. All duct work shall be fabricated from galvanized sheet metal, stainless steel or black steel in accordance with the standards of the America Society of Heating, Refrigeration and Air Conditioning (ASHRAE) and Sheet Metal and Air Conditioning Contractors National Association (SMACCNA) for low pressure, low velocity ductwork. All ductwork systems (except hood exhaust ducts) shall be designed as low velocity (under 1500 fpm) and low pressure (under 2" water gauge). Flexible ducts are to be used only for termination of duct run to ceiling device and shall not exceed five feet (5'-0") in length. Plastic liner ductwork with internal wire reinforcement is not permitted. Alum flex ductwork is not permitted.
5. Branches from main low-velocity trunk ductwork shall be furnished with splitters, dampers or similar balancing devices in accordance with the standards of SMACCNA and the Associated Air Balancing Council.
6. Fire and fire/smoke dampers shall be provided as required.
7. Supply and return ductwork shall be insulated with a minimum of one inch (1 1/2") thick blanket type insulation with a vapor barrier. Acoustical liner may be furnished, as required per NFPA standards. Landlord's insurance carrier's requirements and be UL rated. Flame spread shall not exceed twenty-five (25) and smoke developed shall not exceed fifty (50).

Mechanical Criteria: (continued):

8. Air distribution supply registers and/or diffusers shall be designed and specified for 50 fpm terminal velocity.
9. Tenant is not allowed to remove exterior insulation from Landlord's main OSA duct. Re-insulate ducts where insulation is removed.
10. The entire installation shall be performed by a licensed HVAC contractor in a first class workmanlike manner.

Food Service Tenants Additional Requirements:

1. The Tenant is responsible for providing their own grease exhaust unit(s) and all necessary duct work, in accordance with the current CBC/CMC and all local jurisdictions having authority.
2. All roof top equipment locations must have prior written approval from the On Site Tenant Coordinator.
3. Tenant shall provide high efficiency extractor type hood such as Greenheck H series, Spring Air Revlow series or Landlord approved equal.
4. **Tenant shall provide welded 16 gauge duct-work sloped properly to hood with necessary cleanouts and installed in with the City of Thousand Oaks approved 3M grease duct wrap or fire rated enclosure.**
5. Tenant shall provide within their ceiling space an approved grease filtration/fan system UL approved for the purpose. System shall be Spring Air Systems, Inc., Enviro Series filter unit and fan unit. **Unit shall be equipped with optional odor control carbon potassium permanganate final filters. System shall have a fire damper on the clean side of the filter.**

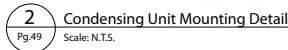
Mechanical Criteria: (continued):

6. Tenant shall provide and install all fire suppression systems inside the duct and the filter/fan unit they install as required by code, ordinance and local authorities.
7. Tenant shall interlock filter units automatic safety shutdown with cooking equipment to interrupt fuel source in order to prevent cooking when fan is not operating.
8. Makeup air systems are required for all exhaust systems designed for a maximum of ninety percent (90%) of all exhausted air quantity. The exhaust and makeup air systems shall be electrically interlocked so that one switch activates both.
9. All cooking exhaust ducts shall be seamlessly welded and comply with N.F.P.A. #96 requirements. Access doors are required and are to be on the vertical face of the horizontal run, at the bottom of the vertical riser and/or as required by code. Automatic and manual devices for shutting down fuel or power supply shall be furnished.
10. Range exhaust hood shall be fabricated in accordance with all codes and shall be at least sixteen (16) gauge or heavier stainless steel with all joints welded.
11. Kitchen range hood exhaust ducts shall be insulated with fire rated type insulation or rated chase per NFPA standards, Landlord's insurance carrier's requirements and be UL rated at specified heat temperature design. Please provide complete specification of type of insulation on the submittal drawings.

Mechanical Criteria: (continued):

12. Hoods, exhaust systems and filtration unit for food processing shall be protected by a chemical extinguishing system as required by code, installed in accordance with all the requirements of the jurisdictional authorities and Landlord's insurance carrier. All systems shall be integrated with fire/life safety systems and be furnished with access panels as required.
13. The exhaust and makeup air systems shall be electronically interlocked so that one switch activates both.
14. Split systems required for all Food Court Tenants.
15. Each unit of HVAC equipment including make up air units, grease fan units, air conditioners will have their own electrical disconnect and pipe penetration twelve inches (12") from the unit served by that designated conduit.
16. Tenant's that have odor producing operations shall install a ventilation system to maintain a negative pressure within the Tenant's space.

ALL WORK INDICATED BELOW IS BY TENANT
AT TENANTS SOLE EXPENSE. TENANT TO CONTRACT
LANDLORD REQUIRED CONTRACTORS FOR WORK
AS REQUIRED. TENANTS RESPONSIBILITY TO CONTACT
CONTRACTORS PRIOR TO STARTING WORK.



4 Gooseneck Duct Fitting
Pg.49 Scale: N.T.S.

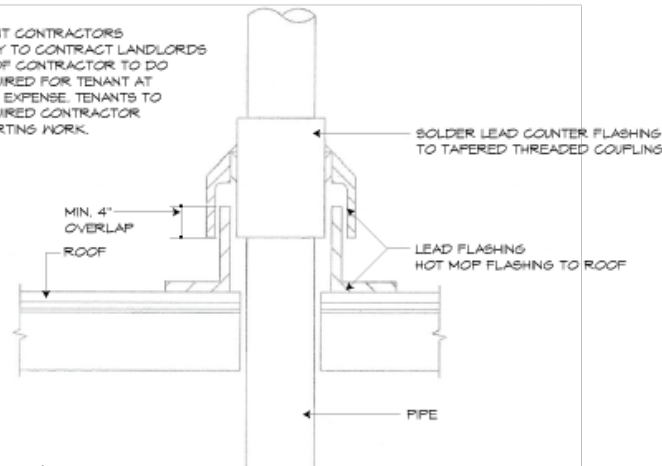
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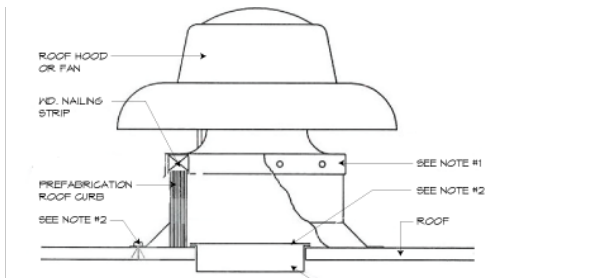
Mechanical Criteria Details

NOTE:

IT IS THE TENANT CONTRACTORS RESPONSIBILITY TO CONTRACT LANDLORDS REQUIRED ROOF CONTRACTOR TO DO WORK AS REQUIRED FOR TENANT AT TENANTS SOLE EXPENSE. TENANTS TO CONTACT REQUIRED CONTRACTOR PRIOR TO STARTING WORK.



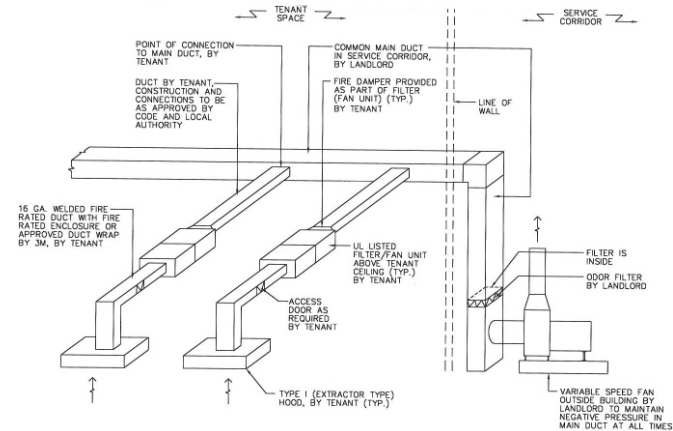
2 Pipe Penetration Detail
Pg.50 Scale: N.T.S.



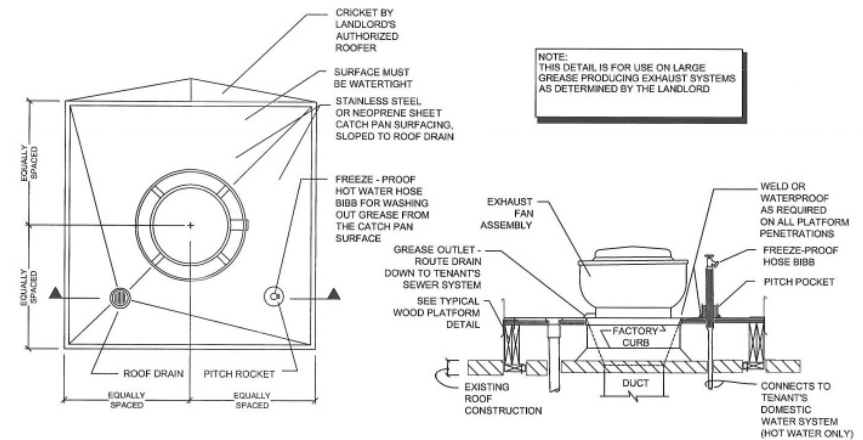
NOTES:

1. SECURE CURB CAP TO HOOD NAILING STRIP WITH 3/8" CADMIUM PLATED LAG BOLTS NOT OVER 12" ON CENTER.
2. SECURE ROOF CURB, DUCTWORK AND DAMPER TO ROOF WITH EXPANSION BOLTS (CONCRETE ROOF) OR RUST RESISTANT BOLTS (METAL DECK AND BAR JOIST ROOF).
3. IT IS THE TENANTS RESPONSIBILITY TO CONTRACT ALL LANDLORD REQUIRED CONTRACTORS FOR ANY ROOF/ WATER PROOFING AT TENANTS SOLE EXPENSE. TENANT TO CONTACT REQUIRED CONTRACTOR PRIOR TO STARTING WORK.

4 Roof Intake/ Relief Air Hood/ Fan
Pg.50 Scale: N.T.S.

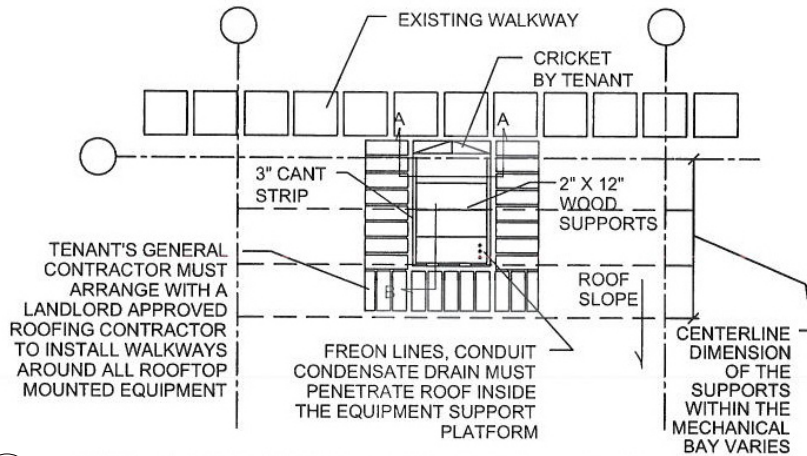


1 Grease Exhaust Detail
Pg.50 Scale: N.T.S.

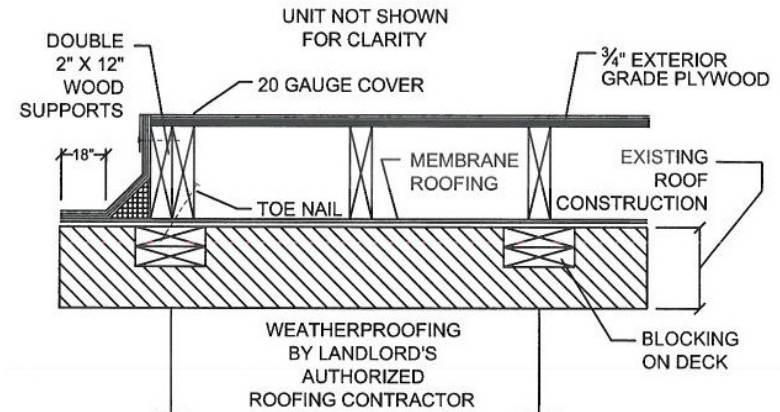


3 Exhaust Fan Grease Catch Pan
Pg.50 Scale: N.T.S.

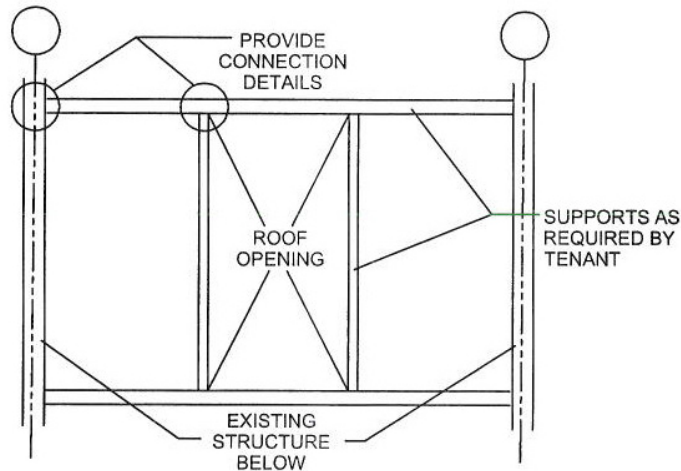
Mechanical Criteria Details



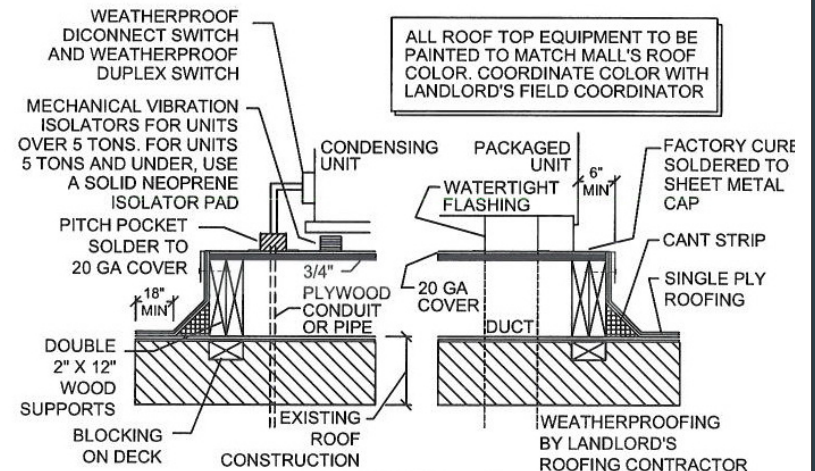
2 Roof Mounted Equipment Platform
Pg.51 Scale: N.T.S.



1 Section "B"
Pg.51 Scale: N.T.S.



4 Typical Roof Opening Frame Detail
Pg.51 Scale: N.T.S.



3 Section "A-A"
Pg.51 Scale: N.T.S.

Plumbing Criteria:

System Design

Tenant shall design and develop a complete plumbing system with all the necessary facilities to serve the demised premises. This includes installing a vent and waste system, a domestic hot and cold water system and gas (where required) system. Tenant shall make all connections to the existing utility services provided by the Landlord.

For spaces greater than 750 square feet (verify with local authorities), Tenant shall design, furnish and install a minimum of one (1) complete Handicapped accessible toilet room facility for Tenant's employees meeting both local and ADA requirements. Toilet room shall include at least one (1) water closet, one (1) hand sink (with hot and cold water provisions), one (1) floor drain with seepage pan and one (1) sanitary floor clean out. It is the Tenant's responsibility to verify the above requirements with the local authorities which may exceed these criteria.

Tenant shall engage any/all Landlord approved contractors (at Tenant's sole expense) for roofing/waterproofing work and x-raying slab. Tenant/Tenant's General Contractor shall pay all costs directly to such contractor(s).

ALL TENANTS:

Just prior to the completion of the project, the Landlord will require each Tenant, at Tenant's expense, to have entire plumbing system scoped by the Landlord approved Contractor.

Plumbing Criteria: (continued):

Landlord Work

1. A cold water service (1 1/4" line) distribution system and valved outlet connection shall be provided for within the Tenant's space. The outlet shall be valved, sized and placed at a location determined by the Landlord. The definition of within the space shall mean either to a point above or directly below the space.
2. A sanitary sewer service main line and (4") plugged (Y) connection shall be provided for the demised premise at a location and invert elevation as selected by the Landlord.
3. **Lower Level Tenants Only** - A sanitary vent service main line and three inch (3") plugged (T) connection shall be installed at a location and elevation as selected by the Landlord. **Upper level Tenants** will be responsible to provide and install their own sanitary vent as required by code.
4. **Food Related Tenants Only** - A gas manifold for Tenant's connection of gas to gas meter and services at a remote location outside of the Tenant's premises as designated by the Landlord. Gas meter application to gas company for meter by Tenant.
5. **Food Related Tenants Only** - It is the Tenant's responsibility to provide and install their own grease trap. Tenant to verify with Mall Management for disposal of grease. Tenant will not be permitted to store grease in barrels.

Tenant Work

1. Tenant shall connect to and extend all piping from the existing location, all sanitary sewer, domestic

Plumbing Criteria: (continued):

- water and sanitary vent piping to the necessary locations within the leased premises.
2. Prior to trenching/coring, Tenant will be required to x-ray the slab using the required Landlord approved contractor at Tenant's sole expense.
3. All work shall comply with the latest edition of the California Plumbing Code with local jurisdictional amendments and with all other codes as may be applicable within this jurisdiction.
4. Tenant's contractor shall saw cut all slab penetrations, patch/repair with new concrete (per mall specifications) and ensure that they are smooth, properly sealed and remain watertight.
5. Tenant shall ensure that all slab penetrations within the Tenant space (and through the roof) are properly sealed and remain watertight to prevent possible water leakage and/or damage. Any damages caused from failure to do so shall be at Tenant's sole risk and expense.
6. Tenant shall provide steel sleeves and water sealed when passing pipes through concrete slabs or wall sections.
7. All roof and slab penetrations made by the Tenant are subject to Landlord's approval as to location and construction details. Landlord's authorized roofing contractor at the cost of the Tenant shall perform weatherproofing of any roof penetrations. Tenant's (General Contractor) shall pay for all costs therefore, directly to such roofing contractor.

Plumbing Criteria: (continued):

8. All piping, clamps, supports, etc., shall be fastened to joists or beams. Do not attach anything directly to the deck, ceiling support system or ductwork above. Furnish seismic support in compliance with all applicable codes.
9. Shutoff valves shall be provided at all connections to fixtures.
10. All materials shall be new and of commercial grade and bear the Underwriters label(s), where such labeling applies.
11. A licensed plumbing contractor shall perform the entire installation in a first-class, workman-like manner.
12. Low flow water closets, urinals, lavatories and sinks, etc., as approved by the Building Department, are to be used.
13. All equipment is to be supported from structural members. No weight can be placed on the roofing materials or insulation.
14. Prior to welding, GC needs to get approved hot work permit from mall operations 72 hours prior. Tenant's General Contractor shall provide a fire watch and portable fire extinguisher (minimum size 2A:20BC), wherever any welding is done within the Tenant space. The person performing the fire watch shall remain in the demised space for at least one (1) hour after the completion of any welding.
15. Provide work floor or wall clean-outs at every fifty feet (50'-0" min.) length of sanitary piping, at the most remote end of each sanitary sewer branch and at each change of direction of the waste line that is greater than forty five degrees. Ready access to the clean-out shall be furnished. Tenant to install water sub-meter per Landlord's specifications

Plumbing Criteria: (continued):

16. Provide and install main shutoff valve at 48 AFF.

Domestic Water:

1. All cold and hot water piping shall be type "L" seamless hard-drawn copper tubing above ground and type "K" below ground and be conformance with ASTM B88-48. Fittings are required to wrought, suitable for 200 psi. Connections to dissimilar materials shall be made with dielectric unions. Joint shall be 95-5 tin antimony for 200 psi.
2. For cold water service, Tenant shall connect to the existing valved outlet, as provided by Landlord, extend pipe as required and provide ground jumper wire, pressure regulator and all further installation and connections in accordance with all given requirements.
3. All cold water piping above Tenant's ceiling shall be insulated with one half inch (1/2") glass fiber with non-combustible and shall conform with and/or exceed all fire and smoke ratings per ASTM E84, NFPA 255, UL 723 and Landlord's Insurance Carrier.
4. Tenant shall provide and install electric domestic hot-water (**No gas hot water heaters are allowed**) supported from or on a platform above the toilet room with an ASME-approved temperature and pressure relief valve. Hot water heater shall be installed inside a watertight sheet metal pan. Pan shall have drain line into an approved fixture or as approved by the Building Department. Discharge from said hot-water heater temperature and pressure relief valve shall be piped to a floor sink. At Tenant's option, instantaneous water heaters may be used,

Plumbing Criteria: (continued):

- but not into a floor drain. Hot water temperature and pressure relief valve options: Temperature and pressure relief valve drain line can terminate into mop sink, floor sink or other approved Building Department locations. Terminating to a floor drain will not be allowed.
5. For all Tenants, provide a water sub-meter, registering in gallons, pressure regulator, ground jumper wire and all further installations and connections in accordance with all given requirements. Place the cold water sub-meter assembly at the rear portion of the Tenant space in a readily accessible and readable location, at a maximum forty-eight (48") inches above the finished floor.
 6. All photographic film processing equipment must have an approved reduced pressure principle backflow prevention assembly installed at the water service connection (inside store, after meter).

Sanitary Waste Lines and Vent Piping:

1. Sanitary sewer vents are required to be routed and connected to the existing sanitary sewer vent system.
2. Provide floor or wall clean-outs at every fifty foot (50'-0") minimum length of sanitary piping, at the most remote end of each sanitary sewer branch and at each change of direction of the waste line that is greater than forty-five (45)

Plumbing Criteria: (continued):

- degrees. Ready access to the cleanout shall be provided.
- Three inch (3") floor drains are required in the toilet areas. Trap primers are required.
 - Traps shall be on all fixtures except those with integral traps. Trap primers are required.
 - Above ground sanitary and vent piping (other than food waste) shall be service-weight cast-iron, with fittings of the same weight as the pipe.
 - Underground sanitary and vent piping (other than food waste) shall be service weight, cast iron with fittings of the same weight as the pipe. PVC or plastic pipe is allowed if the existing mains are PVC or plastic. Schedule 40 may be used in accordance with the requirements of local authorities.
 - Cast iron traps, hair interceptors and/or chemically treated traps as required by code and Landlord for use in Tenant's food processing, product processing, hair styling or pet stores, shall be procured and installed by Tenant in accordance with code.
 - Individual hair interceptors shall be installed on all sinks, basins and special sanitary units which may in any way receive human or animal hair.

Food Service Requirements:

- Grease traps must be sealed. Grease traps provided and installed by the Tenant.
- The Tenants serving soft drinks, juices, alcoholic beverages or any corrosive liquid shall use "Durion" piping for all below floor waste lines.

Plumbing Criteria: (continued):

- Soft drink chases shall be installed within Tenant's premises only. Soda line chase installation within other Tenant's plenum area or within demising walls will not be allowed.
- Condensate lines for refrigeration units may not run horizontally across roof. They shall terminate at Tenant's mop sink or approved receptor. Tenant shall be required to furnish copper condensate lines.
- All restaurants must provide and install their own grease interceptors in an area as designated by the Landlord.

Gas Piping (for food service Tenants only):

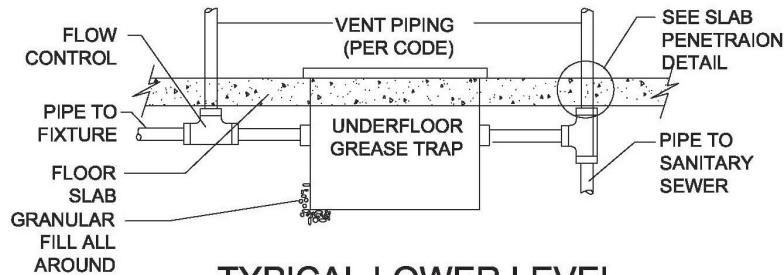
- Landlord reserves the right to deny gas service.
- Landlord place a gas manifold at the exterior of the building. It is the Tenant's responsibility to run lines to the manifold. It is the Tenant's responsibility to patch/repair any damage to building exterior wall at Tenant's sole expense. Verify layout of pipe run with base building drawings.
- Application to the Gas Company for the gas meter will be the Tenant's responsibility.
- Provide and install gas piping from Landlord's gas manifold to Tenant's space by Tenant.
- Natural gas service might be for available food service Tenants for gas-fired cooking as directed and approved by the Landlord. Tenant shall notify Landlord of such requirement(s) during or prior to the Preliminary Plan submission if available and approved. The Tenant shall indicate on Tenant's drawings the complete design, including the load calculations of the gas system in the demised premises.

Plumbing Criteria: (continued):

- Tenant shall, at Tenant's sole expense, arrange with the utility company for service, complying with their requirements for metering and service and extend main pipe to the multi-meter manifold area (if applicable) located outside the demised premises. The complete routing and installation of the piping shall be at Tenant's sole expense. Tenant shall submit load requirements to the local gas company for approval. All gas regulating and metering facilities and all gas piping from the service meter to the gas fired equipment within the premises is at Tenant's sole expense.
- The entire gas piping system and equipment or fixtures shall be furnished with seismic shut-off and manual shut-off devices/controls and color coded or identified as such as required.
- All gas piping shall be schedule 40 black steel ASTM A120 with 150 lb. banned Malleable iron screwed fittings and in compliance with all governing codes and requirements of the utility company as it relates to piping and equipment installation and testing methods and procedures.

Plumbing Criteria Details

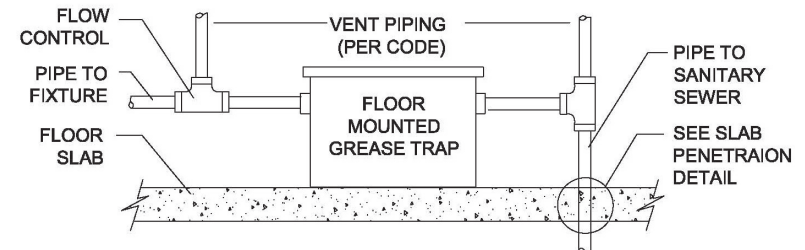
NOTE:
TENANT MUST PROVIDE STRUCTURALLY
ADEQUATE UNDERFLOOR SUPPORTS
FOR THE GREASE TRAP IF FILLED WEIGHT
EXCEEDS THE FLOOR SLAB'S DESIGNED
LOAD CAPACITY



TYPICAL LOWER LEVEL

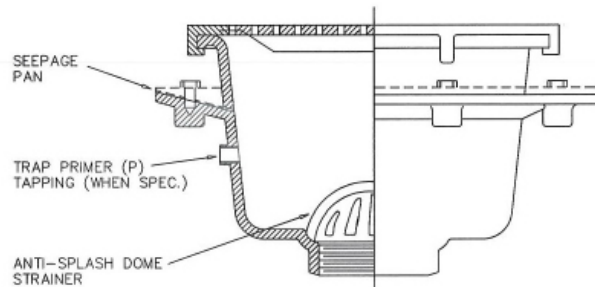
2 Grease Trap Installation Detail
Pg.55 Scale: N.T.S.

NOTE:
TENANT MUST PROVIDE STRUCTURALLY
ADEQUATE UNDERFLOOR SUPPORTS
FOR THE GREASE TRAP IF FILLED WEIGHT
EXCEEDS THE FLOOR SLAB'S DESIGNED
LOAD CAPACITY

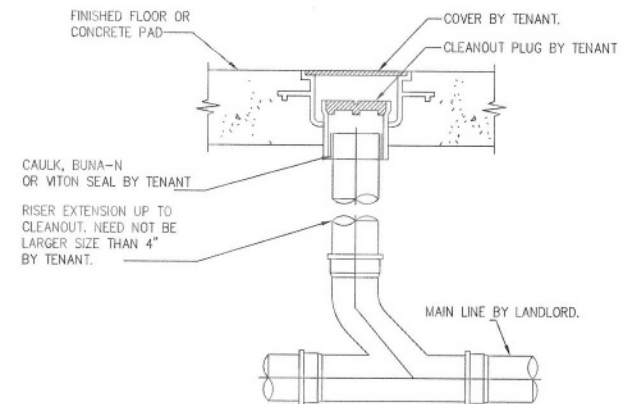


TYPICAL UPPER LEVEL

1 Grease Trap Installation Detail
Pg.55 Scale: N.T.S.



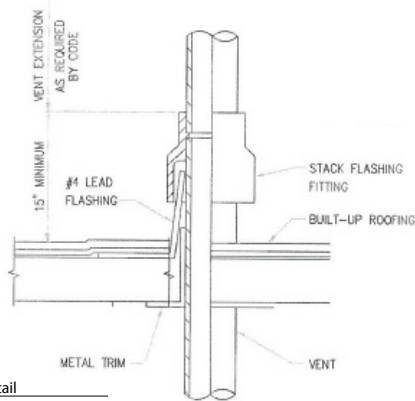
4 Floor Sink with Seepage Pan
Pg.55 Scale: N.T.S.



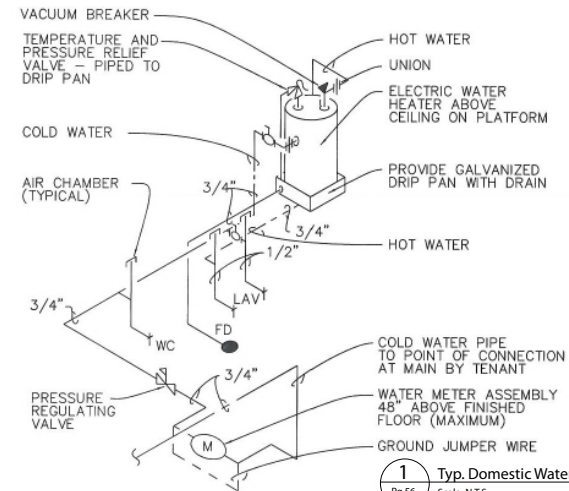
3 Cleanout Detail
Pg.55 Scale: N.T.S.

Plumbing Criteria Details

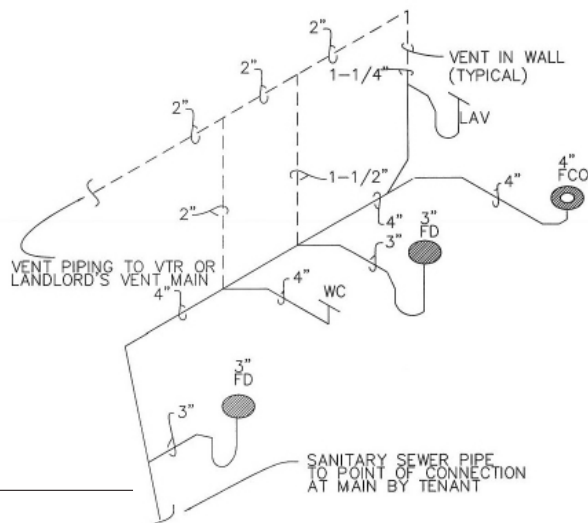
IT IS THE TENANTS CONTRACTORS RESPONSIBILITY TO CONTRACT LANDLORDS REQUIRED ROOF CONTRACTOR TO DO WORK AS REQUIRED FOR TENANT AT TENANTS SOLE EXPENSE.



2 Plumbing Vent Flashing Detail
Pg.56 Scale: N.T.S.

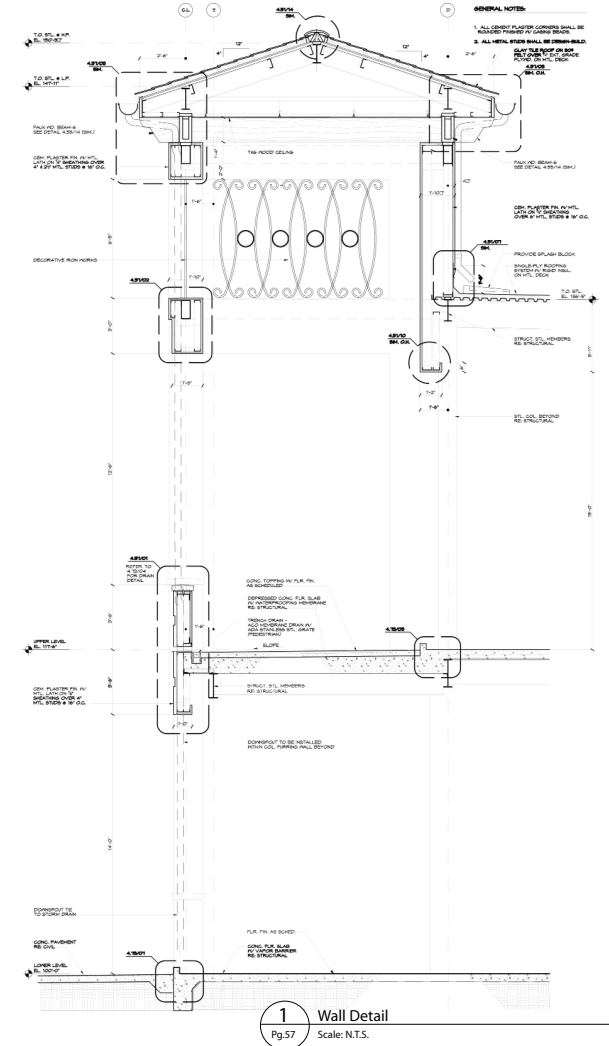
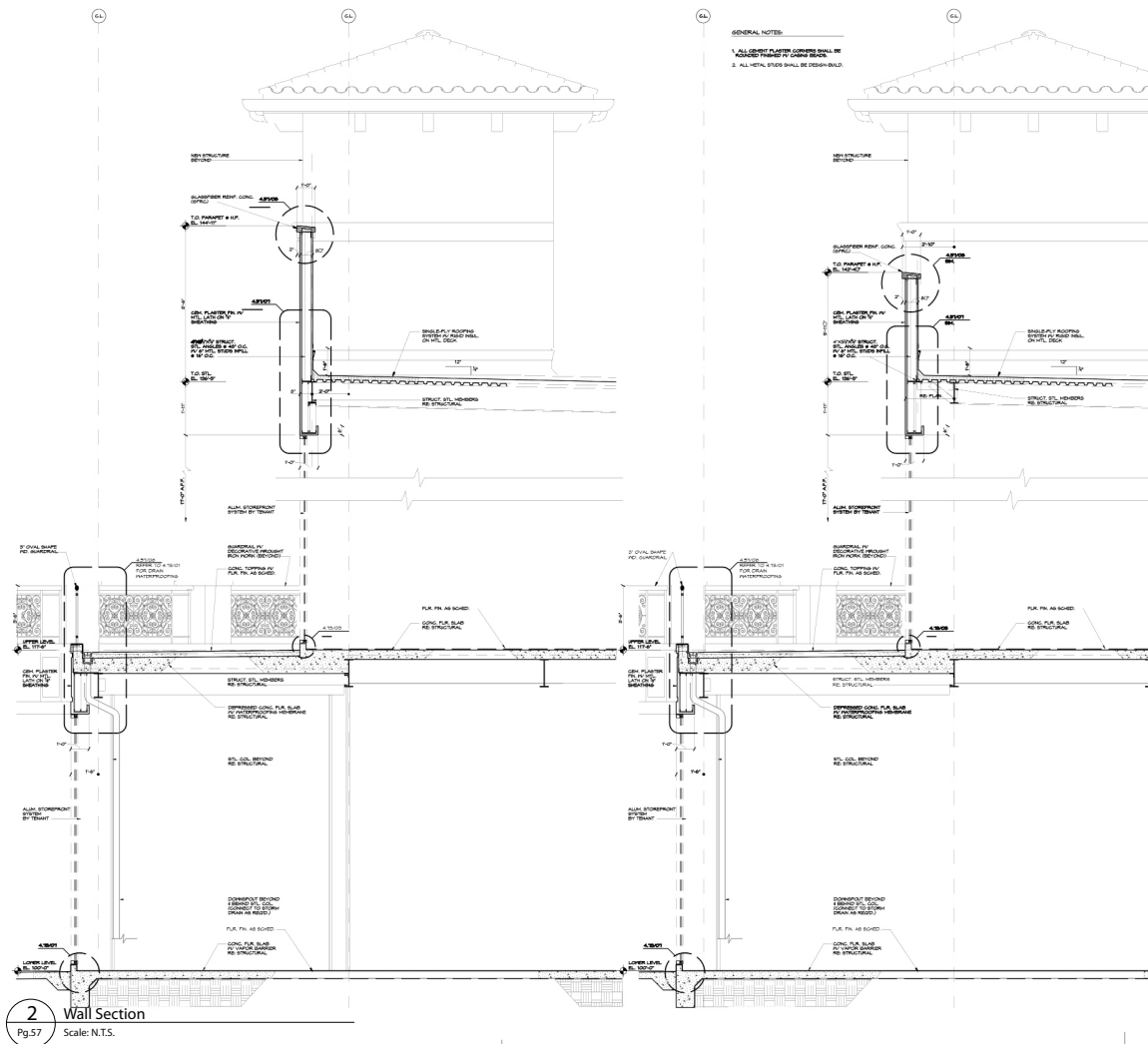


1 Typ. Domestic Water Diagram
Pg.56 Scale: N.T.S.



3 Typ. Sanitary Diagram
Pg.56 Scale: N.T.S.

Waterproofing Criteria Details



Waterproofing Criteria Details

GENERAL NOTES

1. ALL GEMENT PLASTER CONCRETE SHALL BE ADHESIVELY APPLIED TO CONCRETE.
2. ALL METAL STUDS SHALL BE EPOXY BUILT.

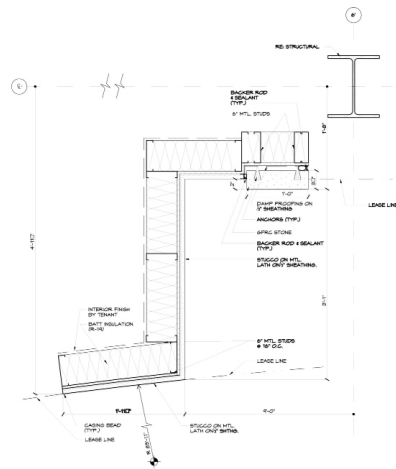
WALL SECTION

Scale: N.T.S.

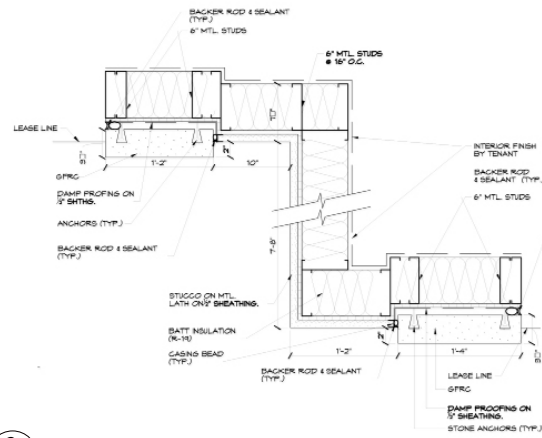
WALL DETAIL

Scale: N.T.S.

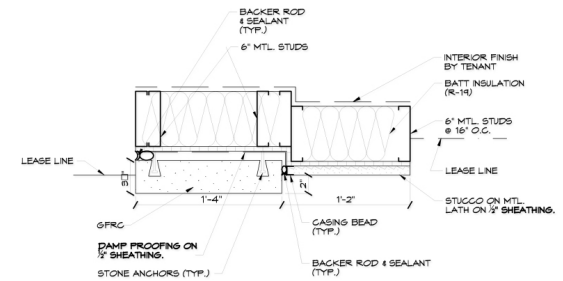
Plumbing Criteria Details



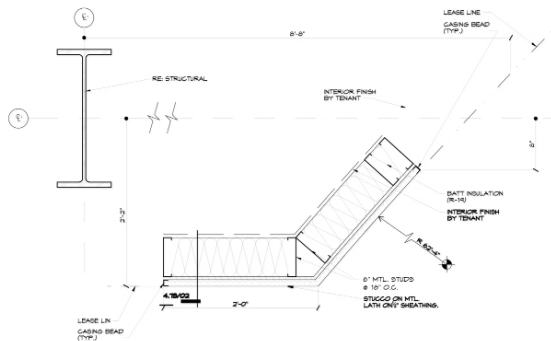
3 Wall Detail
Pg. 59 Scale: N.T.S.



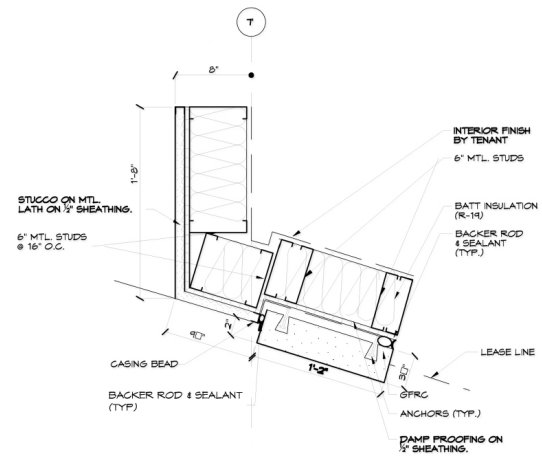
2 Wall Detail
Pg. 59 Scale: N.T.S.



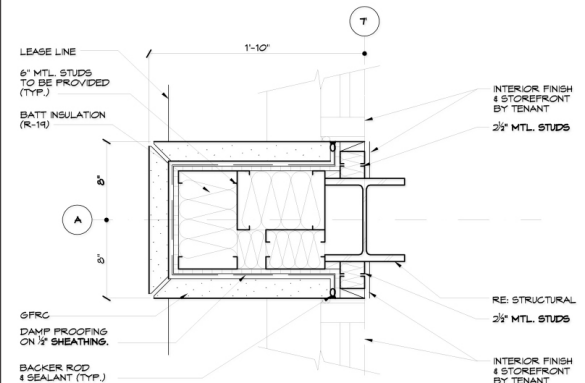
1 Wall Detail
Pg. 59 Scale: N.T.S.



6 Wall Detail
Pg. 59 Scale: N.T.S.

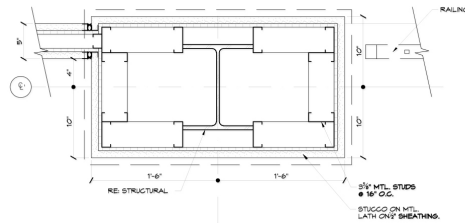


5 Wall Detail
Pg. 59 Scale: N.T.S.

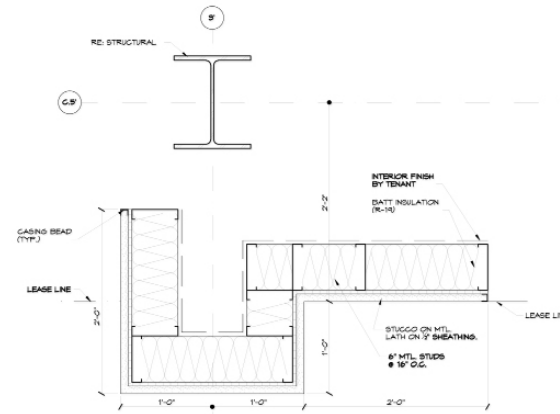


4 Wall Detail
Pg. 59 Scale: N.T.S.

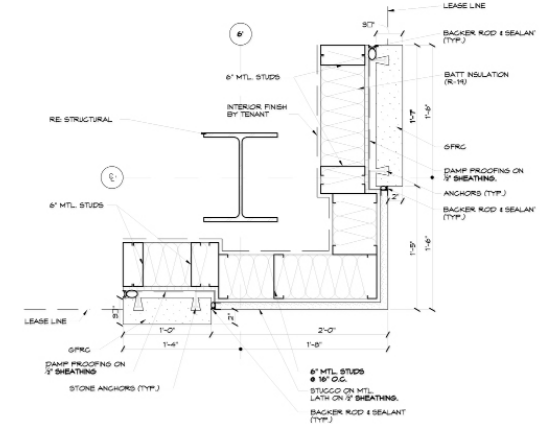
Plumbing Criteria Details



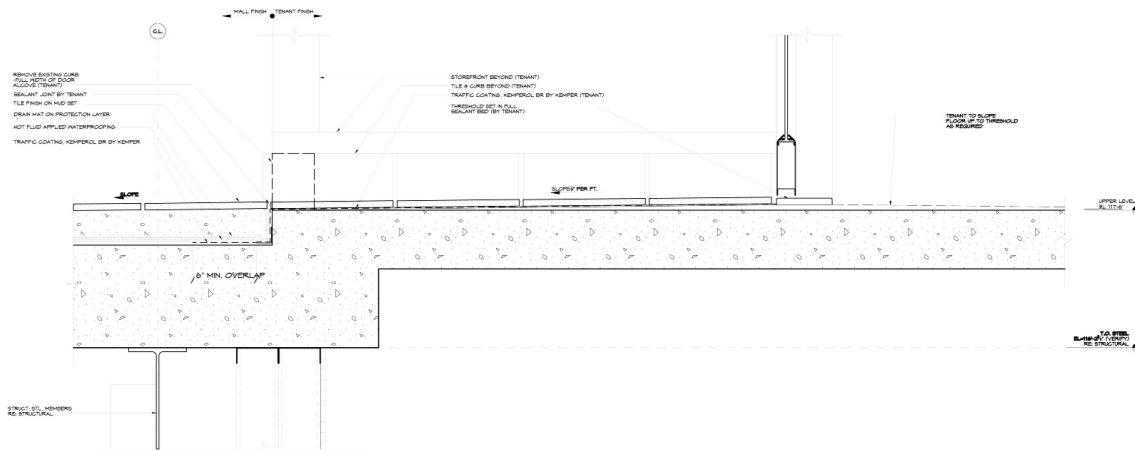
3 Wall Detail
Pg.60 Scale: N.T.S.



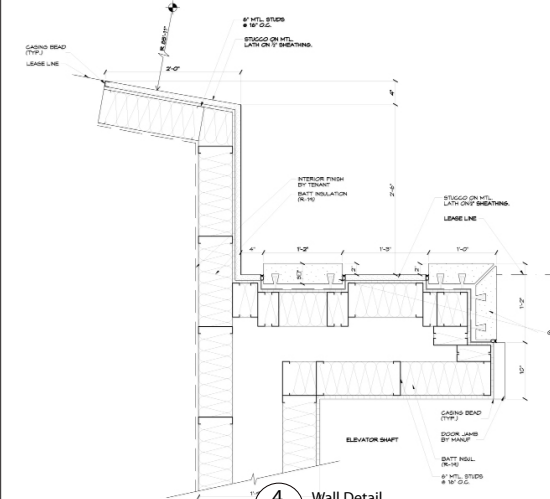
2 Wall Detail
Pg.60 Scale: N.T.S.



1 Wall Detail
Pg.60 Scale: N.T.S.

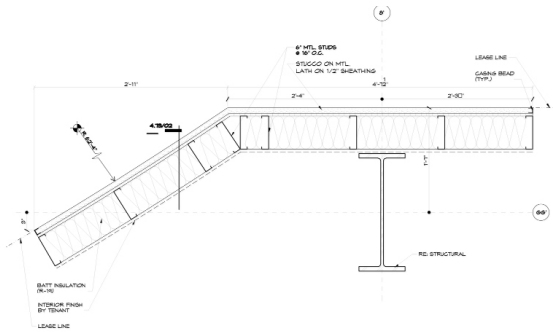


6 Typ. Dtl. @ Recessed Tenant Entry
Pg.60 Scale: N.T.S.

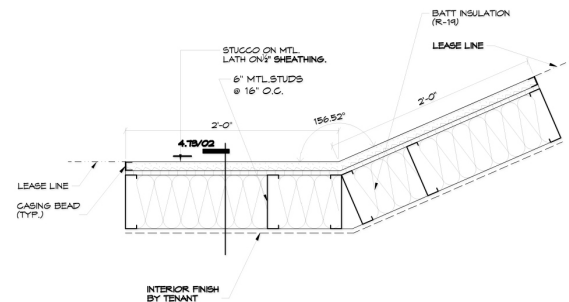


4 Wall Detail
Pg.60 Scale: N.T.S.

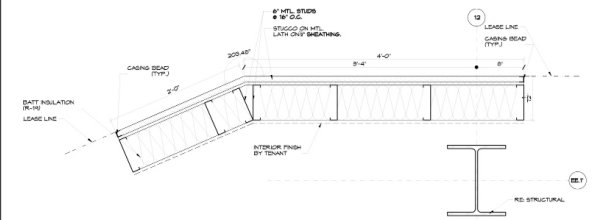
Plumbing Criteria Details



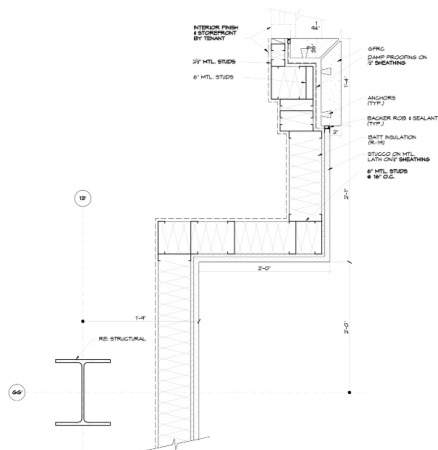
3 Wall Detail
Pg.61 Scale: N.T.S.



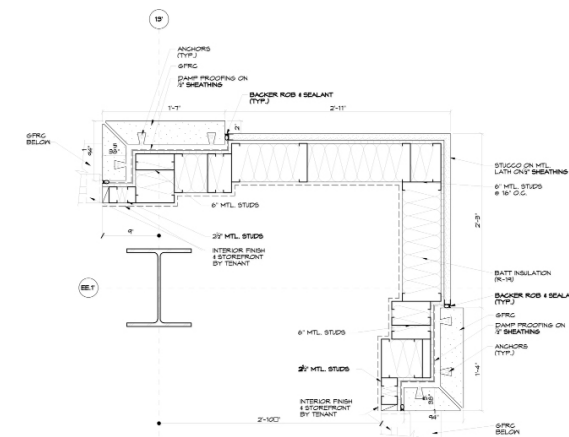
2 Wall Detail
Pg.61 Scale: N.T.S.



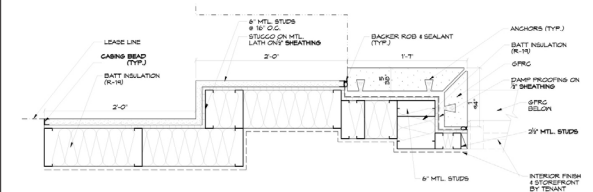
1 Wall Detail
Pg.61 Scale: N.T.S.



6 Wall Detail
Pg.61 Scale: N.T.S.

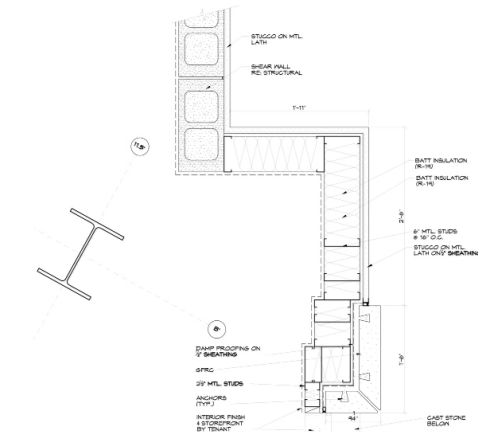


5 Wall Detail
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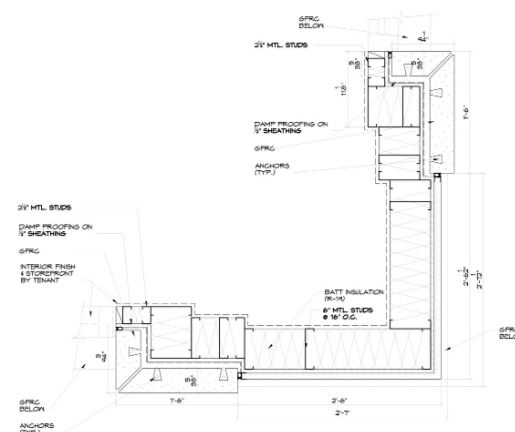


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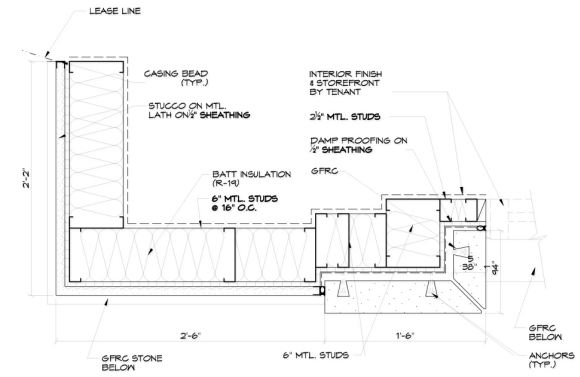
Plumbing Criteria Details



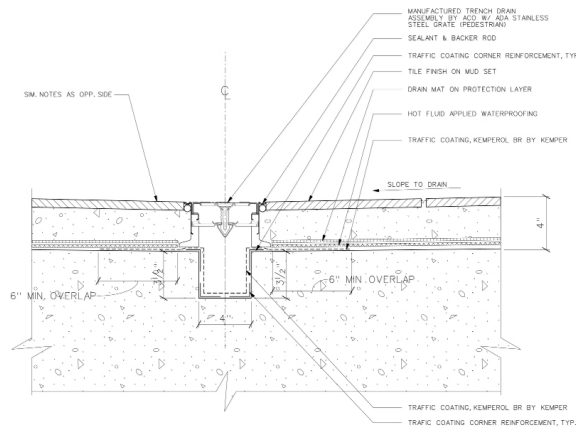
3 Wall Detail
Pg.62 Scale: N.T.S.



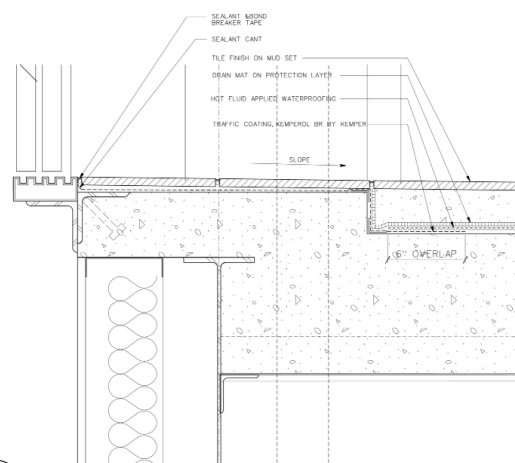
2 Wall Detail
Pg.62 Scale: N.T.S.



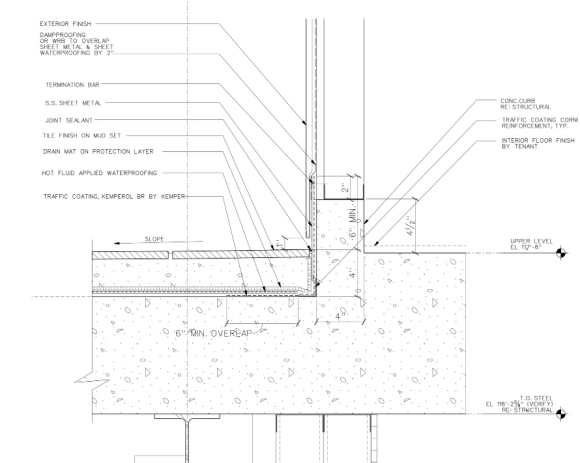
1 Wall Detail
Pg.62 Scale: N.T.S.



6 Wall Detail
Pg.62 Scale: N.T.S.



5 Wall Detail
Pg.62 Scale: N.T.S.



4 Wall Detail
Pg.62 Scale: N.T.S.

350 West Hillscrest Dr | Thousand Oaks, CA 91360

Plumbing Criteria Details



Fire Suppression Design and Construction:

System Design:

Tenant shall connect a fire protection system to either Landlord's sprinkler main or a branch line connection to the demised space using approved mechanical fittings. Tenant shall furnish all branch piping and sprinklers required to complete the sprinkler system within the Tenant space.

Tenant's sprinkler system design shall be based upon a single source of supply, ordinary hazard pipe schedule system as outlined in NFPA pamphlet #13 and Landlord's insurance carrier's requirements. New Tenant sprinkler system design in the expansion area shall match the Landlord's installed base system.

Tenant shall engage Landlord approved sprinkler contractor, at Tenant's sole expense, and Tenant/Tenant's General Contractor shall pay all costs directly to such contractor. A contact may be obtained from Tenant Coordination.

Landlord Work

1. Landlord shall provide either a fire service main or a capped branch line connection to the demised space at a location selected by the Landlord. Sizing of the service main or capped branch connection is based on one (1) sprinkler per eighty (80) square feet of floor area of the demised space. Tenant shall modify and upgrade the system as required by store design. Landlord may furnish, as deemed necessary and at Tenant's sole expense,

Fire Suppression and Construction: *(continued)*:

sprinkler system for the Tenant space that is in compliance with all local codes and Landlord's insurance carrier.

1. For hydraulically designed systems, Landlord shall furnish either a service main for Tenant's connection or a four inch (4") capped outlet connection to the Tenant space at a location as selected by the Landlord.

Tenant's Work

1. Tenant's sprinkler system shall be connected to the mall mains. Tenant shall attach a tamper switch and interface with the Mall's fire alarm system.
2. Tenant's sprinkler heads shall be quick response type, semi-concealed or fully concealed (the same brand and type as installed by the Landlord in the common mall areas), UL listed, Factory Manual approved. Sprinklers in the Tenant's design control area (the first 6'-0" from the face of the storefront into Tenant's space) must be the concealed type of head.
3. Tenant shall furnish an inspector's test connection. The test connection shall be installed off the most remote sprinkler, as physically possible, from the sprinkler supply main or capped outlet connection located in the demised space. Inspector's test connection shall be equipped with a one inch (1") corrosion-resistant shut-off valve and minimum three quarter inch (3/4") hose bibb connection with five feet (5'-0") length of hose piped to discharge to a sanitary sewer receptor within the Tenant space. All sprinkler system tests shall be witnessed by Landlord's representative and local jurisdiction authorities as required.

Fire Suppression and Construction: *(continued)*:

1. All piping shall be supported from beams/joists above only. Do not attach anything directly to the deck above. Fastening and/or suspension devices shall be attached to the building structure only.
2. All piping shall be designed in accordance with NFPA #13 and installed per Landlord's insurance carrier's requirements. All piping shall be threaded schedule 40 black steel meeting ASTM A135. All pipe fitting are required to be pressure class 175.
3. All hangers are to be of an approved type and spaced in accordance with NFPA #13. Seismic bracing to be installed per local code and state codes.
4. Tenant shall furnish and install a vane-type water flow detector in the main sprinkler immediately after connection to Landlord's main. A flow detector shall be installed, per the manufacturer's instructions and shall be designed to detect any water flow that equals or exceeds 10 g.p.m. Detector switch mechanism shall incorporate an instantly recycling mechanical retard element with an adjustable range of 0-60 seconds. The Detector Enclosure shall be dust tight, the Switch Enclosure shall be tamper proof and the Flow Switch shall be connected to Mall fire alarm system.
5. Tenant shall provide appropriate-type fire extinguishers in stock room areas and elsewhere throughout the demised premises, as required by all local authorities having jurisdiction and Landlord's insurance carrier. Fire extinguishers shall be furnished, as directed by the Fire Marshall and be easily accessible. Fire extinguishers shall be serviced & inspected monthly.

Fire Suppression and Contruccion: *(continued)*:

1. All materials and equipment under this section shall be new and listed by Underwriters Laboratories, Inc., and Factory Mutual for fire protection system installation and approved by all local authorities having jurisdiction and governing codes.
2. Final connection to the Landlord's sprinkler main shall not be made until the entire system within the demised premises is pressure-tested and ready for service.
3. Tenant shall not be permitted to stock (stocking must be approved by local authorities) the Tenant space until the entire sprinkler system has been inspected, approved and put into operation. All sprinkler system tests shall be witnessed by Landlord's On-Site Tenant Coordinator and jurisdictional authorities, as required.
4. The entire installation shall be performed by a licensed sprinkler contractor in a first-class manner.
5. Tenant's sprinkler system must include a water curtain within Tenant's demised space along the mall leaseline and/or storefront.
6. Tenant shall provide fire watch for mall systems during Tenant tie-in.

Food Court / Service: Additional Requirements

1. All walk in coolers/freezers shall be supplied with non-freezing sprinklers of the same brand and type as installed by the Landlord in the mall common areas.

Fire Suppression and Contruccion: *(continued)*:

2. Tenant demised spaced with exhaust hoods, grilles and/or cooking facilities must provide a fire extinguishing system, including an alarm. Provide specific details of this installation on the sprinkler plans or as required of the Fire Department Regulations. Upon activation of this system, all cooking equipment, exhaust hood and dedicated make-up air systems must shut down automatically.

Sprinkler Shop Drawing Submittal

1. The Tenant's sprinkler contractor shall submit (2) copies of the sprinkler shop drawings to the Tenant Design Coordinator for review and approval. Sprinkler system shop drawings must be approved by the local authorities having the proper jurisdiction prior to the installation. Sprinkler system must comply with all applicable sections of the NFPA #13.
2. Landlord's insurance carrier may review the plans and forward their comments to Landlord's Tenant Coordinator, who shall then forward the comments to the sprinkler contractor. Tenant's sprinkler contractor shall implement any modifications as part of Tenant's work.
3. Landlord's Tenant Coordinator shall distribute Landlord approved sprinkler drawings to the following:
 - Sprinkler Contractor - 3 copies
 - Landlord's insurance carrier - (2 copies - if required - verify with On Site Tenant Coordinator)
 - Center Management - 1 copy
 - Tenant Construction Coordinator - 2 copies

Structural Criteria

The following criteria is provided for the purpose of designing the Tenant's structural drawings. This criteria is provided as a guideline for Tenant's Engineer. It is the Tenant's responsibility to verify existing conditions and comply with all applicable codes and standards.

Complete Engineered drawings must be submitted to the Landlord's Tenant Coordinator for review and approval. Landlord will review the plans for conformance to basic mall requirements. The Landlord does not review for design, nor does the Landlord accept responsibility for the Tenant's adherence to governing codes.

The documents to be submitted for Landlord approval must include the following:

- Complete plans and specifications for all structural work. Documents must be signed and sealed by a Licensed Engineer in the state where the Shopping Center is located.
- Tenant must submit a set of plans, at Tenant's sole expense, to the designated Macerich structural plan reviewer for approvals. See Required Contractors list.

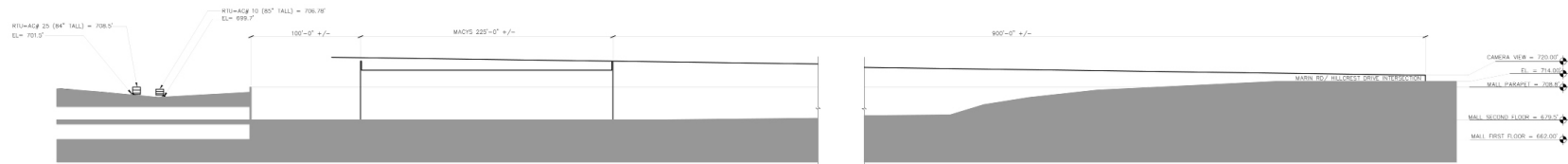
General Requirements:

1. The Tenant's storefront must be structurally self-supported. Tenant may not support the storefront from the bulkhead or fascia. Structural support for Tenant storefronts must be from the roof joists for lateral bracing.

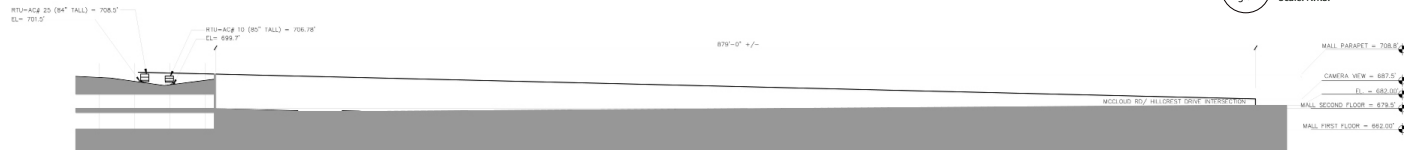
Structural Criteria: (continued):

1. Fixtures and equipment may not be attached to or supported from the floor or roof deck.
2. Structural drawings are required for all items that require support from the steel structure or for all roof top equipment weighing 300 lbs or more.
3. Joist reinforcing is required for roof top equipment as well as steel support for all roof openings.
4. Upper level Tenant's must review base building structural drawings prior to installing a security safe, ovens or any equipment weighing 300 lbs. or more.
5. Landlord will require calculations and details for any opening 12" square or larger in the deck or roof structure.
6. ***Do not attach anything to the underside of the roof deck. All loads and bracing must be adequately supported from the ground or from the primary roof structure.***

Site Line Plan



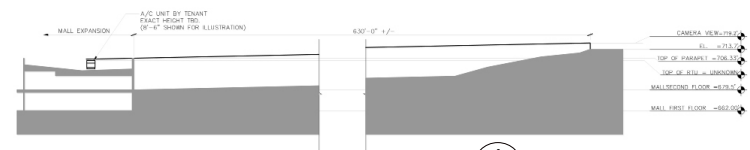
1 Site Line Study - Marin Rd
Pg.67 Scale: N.T.S.



2 Site Line Study - McCloud Rd.
Pg.67 Scale: N.T.S.



3 Site Line Study - Lynn Overpass
Pg.67 Scale: N.T.S.



4 Site Line Study - Marin Rd.
Pg.67 Scale: N.T.S.